



Logan County Board of Commissioners
Logan County Courthouse, 315 Main Street, Sterling, Colorado
Tuesday, July 30, 2024 - 9:30 a.m.

Call to Order
Pledge of Allegiance
Revisions to Agenda
Consent Agenda

Approval of the Minutes of the July 16, 2024, meeting.

Acknowledgement of the receipt of the Treasurer's Semi-annual Financial report for the period January 1, 2024 through June 30, 2024.

Acknowledgement of the receipt of the Sheriff's Fee Report for the month of June, 2024.

Unfinished Business

Reconsideration of the motion to approve an agreement between Logan County and BNSF for installation of railroad crossing surface at County Road 32.2.

New Business

Consideration of the approval of Resolution 2024-18 and an application granting a Special Use Permit (SUP) #240 for the construction, maintenance and operation of a Solar Energy Facility operated by Pivot Energy 54 LLC, consisting of solar modules mounted to single-axis tracking racks, associated electrical equipment including inverters, transformers, combiners, and other equipment, with total production not to exceed 4.0 megawatt (ac), located on a 23-acre parcel, more or less, leased from Robert Lingreen and Sterling Rural Fire Protection District, in the Northeast Quarter (NE1/4) of Section 31, Township 8 North, Range 52 West of the 6th Principal Meridian, Logan County, Colorado.

Consideration of the approval of Resolution 2024-19 and an application approving the Final Plat for Pickett Subdivision, Third Filing, which will consist of the platting of two (2) lots as shown on the Final Plat, located in a portion of the Southeast Quarter (SE1/4) of Section 13, Township 6 North, Range 54 West of the 6th Principal Meridian, Logan County, Colorado.

Consideration of the approval of an agreement between Logan County and Viaero Fiber Networks, LLC and issuance of Right of Way Permit Number 2024-8 for use of the County Right of Way along County Road 33, 37 and 46 for a Fiber Optic Telecom System.

Other Business
Miscellaneous Business/Announcements

The next regular meeting will be scheduled for Tuesday, August 6, 2024, at 9:30 a.m. at the Logan County Courthouse.

Executive Session as Needed
Adjournment

July 16, 2024

The Logan County Board of Commissioners met in regular session with the following members present constituting a quorum of the members thereof:

Mike Brownell	Chairman
Joseph A. McBride	Commissioner
Jerry A. Sonnenberg	Commissioner

Also present:

Pamela M. Bacon	Logan County Clerk & Recorder
Marilee Johnson	Logan County Public Information Officer
Debbie Unrein	Logan County Finance
Don Masin	Knights of Columbus
David Conley	Lodging Tax Board
Robert Schell	Knights of Columbus
Jeff Rice	Journal Advocate

Chairman Brownell called the meeting to order at 9:30 a.m. and opened the meeting with the Pledge of Allegiance.

Chairman Brownell asked if there were any revisions for the agenda. Hearing none, Chairman Brownell continued with the Consent Agenda.

The Board continued with the Consent Agenda items:

- Approval of the Minutes of the July 2, 2024, meeting.
- Acknowledge the receipt of the Treasurer's Report for the month of June 2024.
- Acknowledge the receipt of the Public Trustee's Report for the second Quarter of 2024.
- Acknowledge the receipt of the Landfill Supervisor's Report for the month of June 2024.
- Acknowledge the receipt of the Clerk and Recorder's Report for the month of June 2024.
- Consideration of the renewal of an application for a Retail Liquor License on behalf of Lu's Buffalo Stop, Inc.

Commissioner McBride moved to adopt the Consent Agenda. Commissioner Sonnenberg seconded, and the motion carried, 3-0.

Chairman Brownell continued with New Business:

Chairman Brownell opened a public hearing to consider the approval of an application submitted by the Knights Home of Sterling for a Special Events Liquor License for the Logan County Fair to be held at the Logan County Fairgrounds, Sterling, Colorado on July 30, 31 and August 1, 2, 3, and 4, 2024.

- Robert Schell of the Knight of Columbus presented information about the application.

Hearing no further comment Chairman Brownell closed the public hearing.

Commissioner Sonnenberg moved to approve the application submitted by the Knights Home of Sterling for a Special Events Liquor License for the Logan County Fair to be held at the Logan County Fairgrounds, Sterling, Colorado on July 30, 31 and August 1, 2, 3, and 4, 2024. Commissioner McBride seconded and the motion carried 3-0.

Consideration of the approval of the following Logan County Lodging Tax Board Projects:

- Sugar Beet Days - in the amount of \$3,500.00.
- Sixth Annual Sterling Lion's Club Shootout – in the amount of \$1,000.00.

Commissioner McBride moved to approve the Lodging Tax Board project for Sugar Beet Days in the amount of \$3,500.00. Commissioner Sonnenberg seconded, and the motion carried, 3-0.

Commissioner McBride moved to approve the Lodging Tax Board project for Sixth Annual Sterling Lion's Club Shootout in the amount of \$1,000.00. Commissioner Sonnenberg seconded, and the motion carried, 3-0.

Commissioner McBride moved to approve an amendment to the contract for Mental Health Care Services between the Logan County Sheriff's Office and Turn Key Health Clinics, LLC for provision of mental health services to inmates of the Logan County Detention Center and allow the Chairman to sign. Commissioner Sonnenberg seconded and the motion carried 3-0.

Commissioner McBride moved to approve a contract between Logan County and Upstage Crew Services, Inc./Upstage Rentals to provide the Stage for the Craig Morgan and Ned LeDoux Concert at the Logan County Fair on August 3, 2024, and allow the Chairman to sign. Commissioner Sonnenberg seconded and the motion carried 3-0.

Commissioner Sonnenberg moved to approve an Agreement between Logan County and Neste Live! for the purpose of booking talent and providing related production services for the music and stage events – the Craig Morgan Night Show with Ned LeDoux opening show - for the Logan County Fair, August 3, 2024 and allow the Chairman to sign. Commissioner McBride seconded and the motion carried 3-0.

Commissioner McBride moved to approve an amended agreement between Logan County Fair and Rodeo c/o Board of County Commissioners and Kevin Rich d/b/a Wild West Cattle Company for production of an Extreme Bull Riding event on Tuesday, July 30, at the 2024 Logan County Fair and allow the Chairman to sign. Commissioner Sonnenberg seconded and the motion carried 3-0.

Other Business

The next regular meeting will be scheduled for Tuesday, July 30, 2024, at 9:30 a.m. at the Logan County Courthouse.

There being no further business to come before the Board, the meeting adjourned, at 9:50 a.m.

Submitted by:



Logan County Clerk & Recorder

Approved: July 30, 2024

BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO

(seal)

By: _____
Mike Brownell, Chairman

Attest:

Logan County Clerk & Recorder

SEMI ANNUAL REPORT OF LOGAN COUNTY TREASURER

JANUARY 1, 2024 THRU JUNE 30, 2024

FUND	BEGINNING BALANCE	REVENUES ALL RECEIPTS	DISBURSEMENTS EXPENDITURES	ENDING BALANCE
COUNTY GENERAL	\$ 13,772,098.77	\$ 5,058,137.53	\$ 7,308,924.73	\$ 11,521,311.57
ROAD & BRIDGE	\$ 8,899,486.34	\$ 7,586,148.78	\$ 11,662,685.71	\$ 4,822,949.41
CONTINGENT	\$ 701,999.55	\$ -	\$ -	\$ 701,999.55
HUMAN SERVICES	\$ 1,734,763.33	\$ 3,522,355.45	\$ 3,022,689.88	\$ 2,234,428.90
CAPITAL EXPENDITURES	\$ 938,763.20	\$ 1,062,302.60	\$ 737,977.56	\$ 1,263,088.24
LOGAN COUNTY JUSTICE CENTER	\$ -	\$ -	\$ -	\$ -
TELEVISION TRANSMITTER	\$ 92,604.99	\$ 27,556.25	\$ 33,739.21	\$ 86,422.03
PEST CONTROL	\$ 323,011.16	\$ 106,796.80	\$ 140,999.76	\$ 288,808.20
LOGAN CO LODGING TAX TOURISM FUND	\$ 181,728.52	\$ 55,777.47	\$ 49,761.13	\$ 187,744.86
L/C WASTE DISPOSAL FUND	\$ 3,456,229.21	\$ 778,587.86	\$ 272,211.08	\$ 3,962,605.99
L/C WASTE DISPOSAL CLOSURE COSTS	\$ 803,165.51	\$ 29,355.03	\$ -	\$ 832,520.54
CONSERVATION TRUST FUND	\$ 446,007.92	\$ 44,024.98	\$ 180,000.00	\$ 310,032.90
LC FAIR FUND	\$ 289,458.69	\$ 243,808.00	\$ 31,471.99	\$ 501,794.70
CAPITAL IMPROVEMENT FUND	\$ 4,490,241.82	\$ 1,226,142.65	\$ 2,541,324.32	\$ 3,175,060.15
LOGAN COUNTY AMBULANCE FUND	\$ 132,188.10	\$ 517,342.87	\$ 502,657.22	\$ 146,873.75
STERLING	\$ 14,005.11	\$ 1,664,011.68	\$ 1,436,365.73	\$ 241,651.06
FLEMING	\$ 2,619.34	\$ 82,017.77	\$ 70,575.35	\$ 14,061.76
PEETZ	\$ 379.53	\$ 49,809.76	\$ 43,848.88	\$ 6,340.41
CROOK	\$ 528.27	\$ 25,523.80	\$ 23,690.83	\$ 2,361.24
MERINO	\$ 408.29	\$ 33,287.19	\$ 28,685.26	\$ 5,010.22
ILIFF	\$ 644.79	\$ 15,159.87	\$ 14,166.44	\$ 1,638.22
STERLING ROAD & BRIDGE	\$ -	\$ 222,643.94	\$ 195,375.71	\$ 27,268.23
FLEMING ROAD & BRIDGE	\$ -	\$ 4,589.81	\$ 4,036.36	\$ 553.45
PEETZ ROAD & BRIDGE	\$ -	\$ 1,999.84	\$ 1,792.93	\$ 206.91
CROOK ROAD & BRIDGE	\$ -	\$ 1,071.31	\$ 896.78	\$ 174.53
MERINO ROAD & BRIDGE	\$ -	\$ 3,175.89	\$ 2,838.86	\$ 337.03
ILIFF ROAD & BRIDGE	\$ -	\$ 1,896.88	\$ 1,645.08	\$ 251.80
ASSURANCE	\$ 753.93	\$ 0.12	\$ -	\$ 754.05
CLERK ACCOUNT	\$ 518,342.28	\$ 3,674,187.75	\$ 3,667,919.29	\$ 524,610.74
CLERK COUNTY SURCHARGE	\$ -	\$ 2,058.00	\$ -	\$ 2,058.00
CLERK VITAL RECORDS	\$ 39.00	\$ 243.00	\$ 243.00	\$ 39.00
CLERK STATE	\$ 260.00	\$ 1,620.00	\$ 1,620.00	\$ 260.00
CLERK STATE SURCHARGE	\$ 788.00	\$ 4,116.00	\$ 4,214.00	\$ 690.00
COUNTY UTV	\$ -	\$ -	\$ -	\$ -
S.P. REGIONAL TRANSPORTATION AUTH	\$ -	\$ 6,366.74	\$ 6,366.74	\$ -
UNINSURED MOTORIST	\$ -	\$ 600.46	\$ -	\$ 600.46
DIVISION OF WILDLIFE	\$ -	\$ 14,773.13	\$ 14,773.13	\$ -
STATE MOBILE HOME LIEN FEE	\$ (10.00)	\$ 15.00	\$ 5.00	\$ -
P.I.L.T. DISTRIBUTION	\$ -	\$ 32,691.34	\$ 32,691.34	\$ -
NCWC	\$ 1,696.23	\$ 215,950.78	\$ 183,487.60	\$ 34,159.41
SPWC	\$ 1,670.97	\$ 244,904.47	\$ 213,142.99	\$ 33,432.45
FGWM LEVY	\$ 40.09	\$ 4,429.08	\$ 3,992.84	\$ 476.33
STERLING FIRE	\$ 6,429.90	\$ 955,884.19	\$ 761,777.76	\$ 200,536.33
CROOK FIRE	\$ 1,979.04	\$ 288,553.19	\$ 262,095.14	\$ 28,437.09
PEETZ FIRE	\$ 1,374.86	\$ 206,430.51	\$ 181,801.28	\$ 26,004.09
HAXTUN FIRE	\$ 272.84	\$ 41,485.10	\$ 37,526.18	\$ 4,231.76
HAXTUN FIRE PENSION	\$ 17.04	\$ 2,455.77	\$ 2,208.59	\$ 264.22
FLEMING FIRE	\$ 1,258.87	\$ 140,133.82	\$ 123,031.26	\$ 18,361.43
STERLING URBAN RENEWAL AUTHORITY	\$ -	\$ 420,204.69	\$ 392,311.32	\$ 27,893.37
TAYLOR GRAZING ACT	\$ 758.06	\$ -	\$ -	\$ 758.06
U.S. MINERAL LEASES	\$ -	\$ -	\$ -	\$ -
SPEC-O-TAX CLASSES ABCD&F	\$ -	\$ 1,572,635.81	\$ 1,572,635.81	\$ (0.00)
C-PACE FUND	\$ -	\$ 13,105.88	\$ 13,105.88	\$ -
HAXTUN SOIL CONSERVATION DIST	\$ 29.81	\$ 4,532.84	\$ 4,112.53	\$ 450.12
LC WATER CONSERVANCY DIST	\$ -	\$ 2,423.40	\$ 2,423.40	\$ 0.00
REPUBLICAN RIVER WATER CONSERVATION	\$ -	\$ 162,216.90	\$ 143,464.70	\$ 18,752.20
ILIFF IRRIGATION	\$ 534.26	\$ 28,713.64	\$ 28,967.73	\$ 280.17
LOGAN IRRIGATION	\$ -	\$ 68,249.61	\$ 65,820.51	\$ 2,429.10
NORTH STERLING IRRIGATION	\$ 9,073.90	\$ 837,940.96	\$ 822,117.13	\$ 24,897.73
ILIFF DRAINAGE	\$ -	\$ 1,279.53	\$ 1,230.67	\$ 48.86
FGMD WELL ASSESSMENT	\$ -	\$ 1,266.82	\$ 1,096.48	\$ 170.34
BOND & INTEREST	\$ -	\$ 187,988.97	\$ -	\$ 187,988.97
TREASURERS' DEED	\$ 4,863.51	\$ 2,805.05	\$ 7,654.22	\$ 14.34
PUBLIC TRUSTEE SPECIAL RESERVE FUND	\$ 16,602.17	\$ 41.49	\$ 130.28	\$ 16,513.38
COUNTY TREASURERS COMMISSION & FEE	\$ -	\$ 347,521.09	\$ 130.00	\$ 347,391.09
COUNTY CLERK'S FEE FUND	\$ -	\$ 243,766.51	\$ -	\$ 243,766.51
SHERIFF'S FEE FUND	\$ -	\$ 36,801.28	\$ 4,070.50	\$ 32,730.78
ASSESSORS FEES	\$ -	\$ -	\$ -	\$ -
PUBLIC TRUSTEE ACCOUNT	\$ 6,093.88	\$ 8,565.11	\$ 10,024.14	\$ 4,634.85
PUBLIC TRUSTEE ESCROW ACCT	\$ 4,299.52	\$ 190,613.46	\$ 190,425.52	\$ 4,487.46

PUBLIC TRUSTEE SALARY FUND	\$ 1,988.63	\$ 3,776.07	\$ 4,758.61	\$ 1,006.09
REDEMPTIONS	\$ 948.85	\$ 82,240.75	\$ 82,240.75	\$ 948.85
SUSPENSE	\$ 469,154.74	\$ 187,607.27	\$ 654,009.42	\$ 2,752.59
TAX ADVERTISING	\$ -	\$ (8.26)	\$ -	\$ (8.26)
RE-1 GENERAL FUND	\$ 68,300.09	\$ 6,994,684.69	\$ 6,910,498.78	\$ 152,486.00
RE-2J GENERAL FUND	\$ 1,662.73	\$ 179,128.48	\$ 176,804.41	\$ 3,986.80
RE-3 GENERAL FUND	\$ 10,817.25	\$ 1,356,066.62	\$ 1,344,852.53	\$ 22,031.34
RE-4J GENERAL FUND	\$ 7,058.67	\$ 920,437.39	\$ 912,584.67	\$ 14,911.39
RE-5 GENERAL FUND	\$ 18,230.58	\$ 1,834,362.89	\$ 1,816,489.75	\$ 36,103.72
RE-11J (WELD) GENERAL FUND	\$ (23.73)	\$ 5,339.23	\$ 5,242.58	\$ 72.92
RE-1 BOND ISSUE 2006	\$ 3,914,496.94	\$ 973,338.98	\$ 610,055.50	\$ 4,277,780.42
RE-2 BOND	\$ -	\$ 36,937.32	\$ 36,676.48	\$ 260.84
RE-3 BOND ISSUE 2006	\$ -	\$ -	\$ -	\$ -
RE-4J BOND ISSUE 2008	\$ 101.69	\$ 124,738.80	\$ 124,628.52	\$ 211.97
RE-11J BOND	\$ (7.76)	\$ 414.97	\$ 407.21	\$ -
RE-5 BOND	\$ 153,449.35	\$ 1,567,630.54	\$ 1,089,269.89	\$ 631,810.00
AIMS COLLEGE GENERAL FUND (WELD)	\$ (30.04)	\$ 6,731.69	\$ 3,794.84	\$ 2,906.81
6 MONTH FUND TOTAL	\$ 41,503,648.59	\$ 46,604,522.93	\$ 50,837,291.70	\$ 37,270,879.82

FINANCIAL STATEMENT OF LOGAN COUNTY

The following is a true and correct account of the receipts, expenditures and indebtedness of Logan County for the period described below. Receipts and vouchers in support thereof are available for public inspection. The total expenditures in each fund do not include outstanding warrants not presented as of June 30, 2024.

For six months - ending June 30, 2024. Filed in my office this ____ day of July 2024.

County Clerk

I, Patricia Bartlett, Treasurer of Logan County, in the State of Colorado, do hereby certify that the above is a true statement of the condition of the various funds as they appear from the records in my office at the close of business on June 30, 2024.

Patricia Bartlett
County Treasurer



CIVIL PAYMENTS						
Jun-24						
Date	Check #	Business Check #	Sheriff #	Amount	Amount of Refund	Amount Owed to County
6/19/2024	1104	5436	224-406	\$ 40.00	\$ 15.00	\$ 25.00
7/2/2024	1105	768419	2024-449	\$ 40.00	\$ 15.00	\$ 25.00
7/8/2024	1107	CASH	2024-447	\$ 40.00	\$ 15.00	\$ 25.00
Total Owed to County						\$ 75.00

* Emailed to Jennifer
07.18.2024
@ 10:05 AM

CIVIL PAYMENTS CREDIT CARDS					
Jun-24					
Date	Check #	Sheriff #	Amount	Amount of Refund	Amount Owed to County
6/11/2024		2024-390/391	\$ 133.00		\$ 133.00
6/14/2024		2024-395/396/397	\$ 60.00		\$ 60.00
6/18/2024		2024-405	\$ 40.00		\$ 40.00
6/19/2024		2024-410/411/412	\$ 60.00		\$ 60.00
6/21/2024		2024-415/416/417	\$ 60.00		\$ 60.00
6/21/2024		2024-409	\$ 45.00		\$ 45.00
6/24/2024		2024-421	\$ 104.00		\$ 104.00
6/25/2024		2024-418	\$ 51.00		\$ 51.00
6/28/2024		2024-431	\$ 80.00		\$ 80.00
6/28/2024		2024-429	\$ 73.00		\$ 73.00
7/2/2024	1106	2024-443	\$ 40.00	\$ 15.00	\$ 25.00
7/2/2024		2024-444	\$ 45.00		\$ 45.00
7/2/2024		2024-445/446	\$ 80.00		\$ 80.00
7/2/2024		2024-434	\$ 40.00		\$ 40.00
7/8/2024		2024-460	\$ 58.00		\$ 58.00
7/8/2024		2024-463/464	\$ 50.00		\$ 50.00
7/8/2024		2024-459	\$ 40.00		\$ 40.00
7/9/2024		2024-465	\$ 91.00		\$ 91.00
7/9/2024		2024-471/472	\$ 50.00		\$ 50.00
7/10/2024		2024-467	\$ 40.00		\$ 40.00
7/10/2024		2024-474	\$ 45.00		\$ 45.00
7/10/2024		2024-473	\$ 40.00		\$ 40.00
Total Owed to County					\$ 1,310.00

NOTARY/SEX OFFENDERS/RECORDS REQUEST CREDIT					
Jun-24					
Date		Sheriff #	Amount	Amount of Refund	Amount Owed to County
6/13/2024			\$ 15.00		\$ 15.00
7/10/2024			\$ 15.00		\$ 15.00
7/11/2024			\$ 53.00		\$ 53.00
6/11/2024			\$ 45.00		\$ 45.00
6/10/2024			\$ 45.00		\$ 45.00
6/13/2024			\$ 10.00		\$ 10.00
6/21/2024			\$ 45.00		\$ 45.00
7/3/2024			\$ 45.00		\$ 45.00
7/3/2024			\$ 10.00		\$ 10.00
Total Owed to County					\$ 283.00

CHP CREDIT CARDS				
Jun-24				
Date		Amount	Amount of Refund	Amount Owed to County
6/10/2024		\$ 152.50		\$ 152.50
6/11/2024		\$ 63.00		\$ 63.00
6/18/2024		\$ 63.00		\$ 63.00
6/24/2024		\$ 63.00		\$ 63.00
6/26/2024		\$ 63.00		\$ 63.00
7/1/2024		\$ 152.50		\$ 152.50
7/2/2024		\$ 152.50		\$ 152.50
7/8/2024		\$ 63.00		\$ 63.00
7/9/2024		\$ 63.00		\$ 63.00
7/10/2024		\$ 63.00		\$ 63.00
7/10/2024		\$ 63.00		\$ 63.00
7/10/2024		\$ 152.50		\$ 152.50
7/11/2024		\$ 63.00		\$ 63.00
Total Owed to County				\$ 1,177.00

CIVIL CHECKS \$ 75.00
 CIVIL CREDIT CARDS \$ 1,310.00
 RECORDS/VIN/FINGERPRINTS CREDIT CARDS \$ 283.00
 CHP CREDIT CARDS \$ 1,177.00
 TOTAL PAID TO GENERAL FUND \$ 2,845.00 Check#1108
 DEPOSIT TAKEN TO BANK OF COLORADO \$ 120.00

**RESOLUTION
NO. 2024-18
(Special Use Permit #240)**

A resolution granting a Special Use Permit (SUP) #240 for the construction, maintenance and operation of a Solar Energy Facility operated by Pivot Energy 54 LLC, consisting of solar modules mounted to single-axis tracking racks, associated electrical equipment including inverters, transformers, combiners, and other equipment, with total production not to exceed 4.0 megawatt (ac), located on a 23-acre parcel, more or less, leased from Robert Lingreen and Sterling Rural Fire Protection District, in the Northeast Quarter (NE1/4) of Section 31, Township 8 North, Range 52 West of the 6th Principal Meridian, Logan County, Colorado.

WHEREAS, Pivot Energy 54 LLC, has applied for a Special Use Permit for the construction, maintenance and operation of a Solar Energy Facility on a 23-acre parcel in the Northeast Quarter (NE1/4) of Section 31, Township 8 North, Range 52 West of the 6th P.M.; and

WHEREAS, The project located on approximately 23 acres will consist of approximately 9,178 solar modules with total production not to exceed 4.0 megawatts (ac), including inverters, transformers, combiners, and a ground-mounted racking system using single-axis tracker system; and

WHEREAS, the property is currently zoned Agricultural; and

WHEREAS, the Logan County Planning Commission, after reviewing all materials, taking testimony of the applicant and surrounding property owners, and finding no issues that would limit or deny this application, recommended an approval of this application for the requested Special Use Permit at its regular meeting on July 16, 2024; and

WHEREAS, the applicant is requesting approval of Special Use Permit #240, to construct, maintain and operate the Solar Energy Facility. The permit will commence on the date of the approval of the requested Special Use Permit.

NOW BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF LOGAN COUNTY, COLORADO:

I. APPROVAL:

The application of Pivot Energy 54 LLC, for a Special Use Permit for the construction, maintenance and operation of a Solar Energy Facility by Pivot Energy 54 LLC, located on a 23 acre parcel in Northeast Quarter (NE1/4) of Section 31, Township 8 North, Range 52 West of the 6th P.M., is GRANTED, subject to the conditions set forth below.

II. FINDINGS OF FACT:

The use is compatible with existing land uses in the area, which is zoned Agricultural.

III. CONDITIONS:

1. The permit term shall be for twenty (20) years for the identified and approved SUP #240.
2. The Solar Energy Facility shall remain in compliance with the Logan County Solar Regulations, adopted effective July 30, 2024, for the duration of the term of the Special Use Permit.
3. Equipment shall be flat, photovoltaic solar panels, mounted on single-axis tracking racks along with associated electrical and utility equipment; and allows for equipment heights up to ten (10) feet above the existing or conditioned grade. If any changes or alterations from the above equipment or parameters occur in future phases, the Applicant or any successor in interest shall be responsible for seeking and obtaining separate approval of a permit and term of approval for those changes.

4. The applicant shall provide decommissioning and restoration security, in a form and manner acceptable to the County, and obtain the County's written approval of the security prior to commencing construction of the project as written in the decommissioning plan provided with application.

BE IT THEREFORE RESOLVED, that Special Use Permit #240, is granted for construction, maintenance and operation of a Solar Garden operated by Pivot Energy 54 LLC, on property legally described above, subject to the conditions set forth above and subject to application for renewal for continued permitted use after July 30, 2044. The Board of County Commissioners of Logan County retains continuing jurisdiction over the permit to address future issues concerning the site and to insure compliance with the conditions of the permit. The applicant is responsible for complying with all of the foregoing conditions and all other county zoning or other land use regulations. Noncompliance with any of the conditions may be cause for revocation of the permit.

Done the 30th day of July, 2024.

**LOGAN COUNTY BOARD OF COMMISSIONERS
LOGAN COUNTY, COLORADO**

Mike Brownell, Chairman (Aye)(Nay)

Joseph A. McBride, Vice-Chairman (Aye)(Nay)

Jerry A. Sonnenberg, Commissioner (Aye)(Nay)

I, Pamela M. Bacon, County Clerk and Recorder in and for the County of Logan, State of Colorado, do hereby certify that the foregoing Resolution was adopted by the Board of County Commissioners of the Logan and State of Colorado, in regular session on the 30th day of July, 2024.

County Clerk and Recorder

SPECIAL USE PERMIT APPLICATION
AS REQUIRED BY THE LOGAN COUNTY ZONING RESOLUTION
DEPARTMENT OF PLANNING & ZONING

Applicant

Name: Pivot Energy Phone: 970-300-3319

Address: 1601 Wewatta St, Ste 700

Landowner

Name: Sterling Rural Fire Protection District Phone: 970-520-7423

Address: 18234 IRIS Dr

Description of Property

Legal: $\frac{1}{4}$ Section _____ Section 31 Township N8 Range W52

Address: 18234 IRIS Dr Access off CR or Hwy: US Hwy 6

New Address Needed: Y or Subdivision Name: _____

Filing _____ Lot _____ Block _____ Tract _____ Lot Size _____

Current Zoning: Residential Current Land Use: Residential

Proposed Special Use: 4MWAC solar garden

Terms of Special Use: _____

Building Plans: _____

I, (We), hereunto submit this application for a Special Use Permit to the Board of County Commissioners, together with such plans, details and information of the proposed conditional use. I, (We), further understand that the Board of Logan County Commissioners may, in addition to granting a Special Use Permit, impose additional conditions to comply with the purpose and interest of the Logan County Zoning Resolutions and Zoning Map.

Dated at Sterling, Colorado, this 23 day of May 2024

Signature of Applicant: Cait O'Mara

Signature of Landowner: Don K. Liff - board member

Pivot Energy
Special Use Permit
SUP2024-240 July 2024
18234 Iris Drive (31-8-52)

**LOGAN COUNTY SPECIAL USE PERMIT APPLICATION
FOR COUNTY USE**

Application Fee: (\$100.00) Date: _____ Receipt #: _____

Date of Planning Commission Meeting: _____

Recommendation of Planning Commission: _____ Approval _____ Denial

Recommended Conditions of the Special Use Permit:

Chairperson
Logan County Planning Commission

COUNTY COMMISSIONERS ACTION:

Conditions of the Special Use Permit:

Date Granted: _____

Date Denied: _____

Mike Brownell (Aye) (Nay)

Joseph A. McBride (Aye) (Nay)

Jerry A. Sonnenberg (Aye) (Nay)



Pivot Energy Inc. – Detailed Narrative

Following Logan County’s Solar Energy Regulations, adopted August 29, 2023, Pivot will adhere to the 300’ setback and appreciates the County’s detailed regulations to serve the best interests of Logan County residents.

Unique among our peers, Pivot is one of the only community solar companies to make a commitment to invest in every community we operate in. Pivot focuses on our investment that align with our core business objectives - helping families in the local communities with high energy burdens find energy bill assistance relief, and creating pathways into the solar industry for local residents in the communities we build projects in by supporting the agricultural industry and respecting property rights of both landowners and neighbors.

I. Explain the proposed use and business name.

- Pivot Solar 54 LLC c/o Pivot Energy Inc., (“Pivot”) is seeking to construct a solar garden in Logan County that is approximately 4 MWac in size on the following parcels: 38052531300009 & 38052531300921.
- The project will be built on approximately 23 acres.
- The solar array will deliver electricity to Xcel Energy for 20 years through the Utility’s “Solar Rewards*Community” program.
- The panels are expected to be less than ten feet above grade at their highest point, and Pivot commits to following the Logan County Code for panel height restrictions. The panels will be surrounded by a decorative wildlife friendly game fence, similar to what the Colorado Department of Transportation (“CDOT”) and Colorado Parks and Wildlife (“CPW”) use. Exact height subject to final structural engineering.
- As a low-impact use, solar energy naturally co-exists well with agricultural land. It produces no sound, light, or traffic, and is an unmanned operation with the exception of 4-8 annual visits by a small maintenance crew (1-2 pickup trucks). Pivot’s solar facilities use pollinator-friendly, low growth seed mixes, and blend into the natural landscape.
- Dual use “agrivoltaics” – projects that incorporate agricultural uses with solar energy production – are a priority for Pivot’s portfolio of sites undergoing permitting in 2024. Depending on site characteristics, tenant farmer availability, and project financials, Pivot will evaluate whether the secondary agricultural use will take the form of sheep grazing or crop production underneath the panels, with a strong preference towards the latter.
- The project lease area will include panels and inverters mounted on steel posts/beams, concrete-pad-mounted transformers and other electrical equipment, an access drive with hammerhead emergency turn-around, and perimeter fencing with gates.
- The solar array will be designed to meet the maximum wind and snow loads applicable in Logan County. In addition, the panels themselves have a manufacturer warranty of at least 25 years.
- Generally, a contracted Operations and Maintenance (“O&M”) crew of one to four people will visit the site up to eight times annually for routine inspections, maintenance, and vegetation control and on an as-needed basis to address equipment outages. There will be no permanent staff on the site, which will be remotely monitored.
- Upon the conclusion of the project’s useful life, the project owner will remove all project materials and return the property to the landowner in the originally leased condition, minus any vegetation and grading. Please reference the Decommissioning Plan for more information.

- 2 Describe the proximity of the proposed use to residence.
 - Pivot will adhere to Section 1-105 B-2 of the Logan County Solar Energy Regulations and maintain a 300' setback from inhabited structures.
 - In May 2024, all neighbors within 500' of the proposed projects were sent a postcard notifying them of the final phase of the project and providing contact information at Pivot.
- 3 Describe the hours and days of operation (i.e., Monday thru Friday 8 AM to 5 PM)
 - During construction, crews will be on-site from approximately 7:00 am - 6:00 pm Monday-Friday. Most vehicles will arrive early in the morning (7:00 to 9:00 am) and will begin departing the construction site around 3:00 pm.
 - Once constructed, the site will be unmanned but the solar farm will generate electricity during daylight hours each day of the year.
 - Operations and maintenance crews will be on-site up to eight times annually for up to four hours per visit.
- 4 Describe the number of employees including full-time, part-time and contractors. If shift work is proposed, detail number of employees, schedule and duration if shifts.
 - During the construction phase, there will be a crew made up of approximately 40 people on site each day. The construction crew will consist of project managers, laborers, electricians, civil contractors, and any other necessary personnel for the project. Once construction is complete, there will rarely be personnel on site, generally limited to a local grazer and the O&M crew during their scheduled trips.
- 5 Describe the maximum number of users, patrons, members, buyers or other visitors that the site will accommodate at any one time.
 - The site will not be open to the public.
 - The gate around the site will be locked and will only be accessible to those constructing the facility or periodically maintaining the facility. The site will also be accessible to life-safety emergency personnel.
- 6 List the types and maximum numbers of animals to be on the site at any one time.
 - During commercial operation of the solar facility, Pivot anticipates using seasonal sheep grazing to manage vegetation onsite. During the summer months, approximately 40 sheep will be onsite, at the discretion of the local grazing partner.
- 7 List the types, and number of operating and processing equipment.
 - Not applicable.
- 8 List the types, number and uses of the existing and proposed structures
 - There will not be any structures built onsite.
- 9 Describe the size of any stockpile, storage, or waste areas
 - There will not be any stockpile, storage, or waste areas onsite.
- 10 Describe the method and time schedule of removal or disposal of debris, junk and other wastes associated with the proposed use
 - Any debris, junk, or wastes associated with building the project will be removed and disposed of property prior to completion. No waste will be produced once the array is "turned-on" and producing energy.

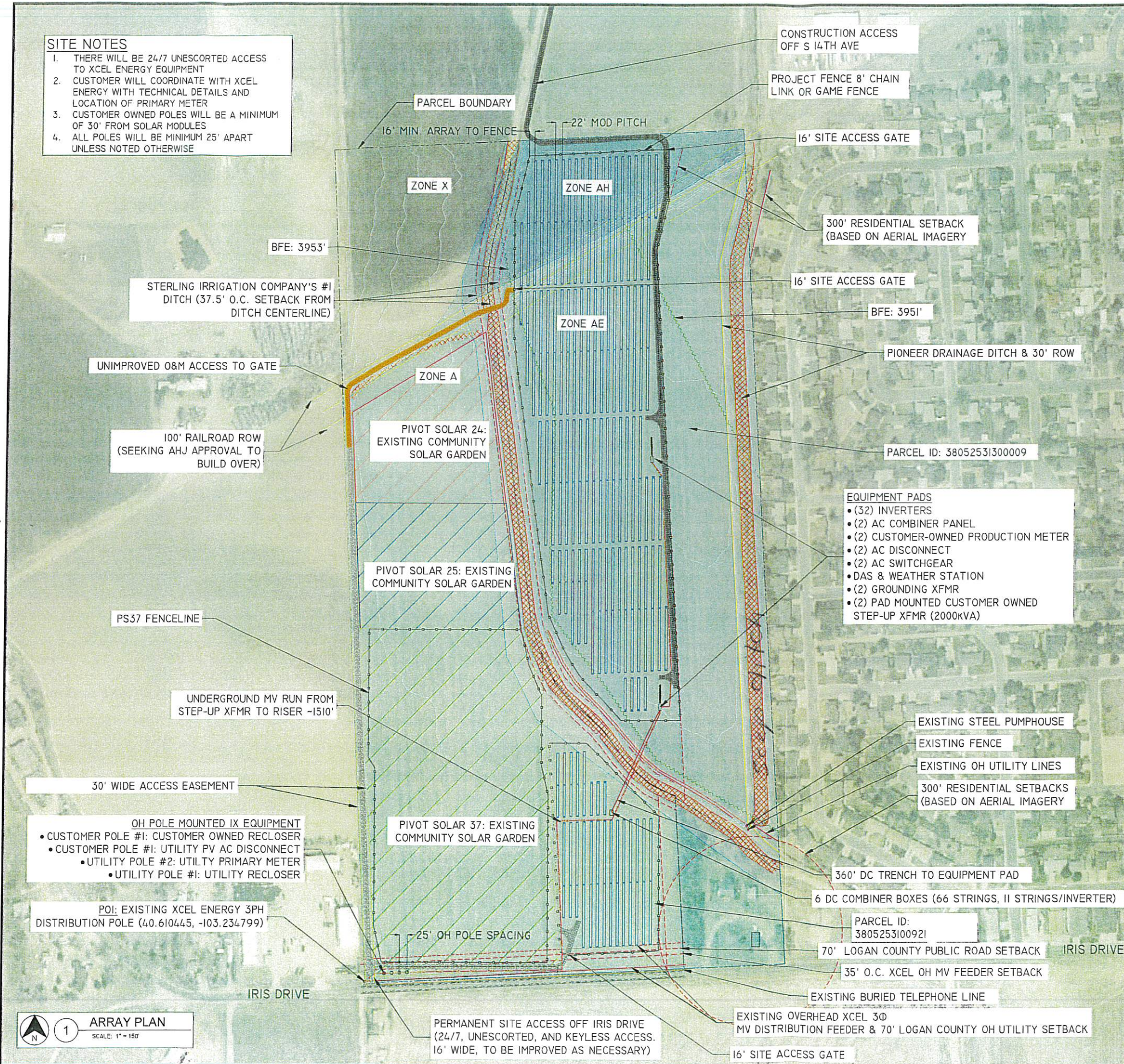


Pivot Energy Inc. – Detailed Narrative

11. How many parking spaces are proposed? How many handicap-accessible parking spaces are proposed?
 - No parking spaces are proposed on-site. This site is not open for public access.
12. Describe the existing and proposed fencing and screening for the site including all parking and outdoor storage areas.
 - Pivot is proposing to use a decorative wildlife friendly fence to enclose the area as well as low growth decorative native grasses or potentially utilizing dual-use crop production in between array rows and around the sides of the array.
 - The proposed fence is Colorado Parks and Wildlife's preferred decorative "wildlife friendly" game fence, 8' tall with a smooth top wire.
 - There will be no on-site outdoor storage areas.
13. Describe reclamation and procedures to be employed as stages of the operation are phased out or upon cessation of the Use by Special Review activity.
 - Once the project has reached the end of its useful life and the lease has been terminated, Pivot or the facility owner will remove all improvements made and either recycle, reuse, or repurpose all materials. The site will be re-seeded with a native dryland seed and the property will be returned to the landowner ready to be developed as he or she wishes.
 - Please reference the attached Decommissioning Plan for more details.
14. Describe the proposed fire protection measures.
 - Pivot will maintain vegetation under the panels.
 - Internal roads and setbacks between fence and array have been designed to provide access by emergency vehicles if need be.
15. Explain how this proposal impacts the protection of the health, safety and welfare of the inhabitants of the neighborhood and the County.
 - The proposed solar array will meet the health, safety, and welfare goals of the County because the array will not produce any odors or fumes. The solar array will help produce clean, long-term energy for the County, therefore meeting the goals of maintaining a healthy society.
16. Detail known State or Federal permits required for your proposed use(s) and the status of each permit. Provide a copy of any application or permit.
 - There are no State or Federal permits associated with the project besides state electrical permit and state Storm Water Pollution Prevention Plan (SWPP), which will be complete prior to submission of building permit.

SITE NOTES

1. THERE WILL BE 24/7 UNESCORTED ACCESS TO XCEL ENERGY EQUIPMENT
2. CUSTOMER WILL COORDINATE WITH XCEL ENERGY WITH TECHNICAL DETAILS AND LOCATION OF PRIMARY METER
3. CUSTOMER OWNED POLES WILL BE A MINIMUM OF 30' FROM SOLAR MODULES
4. ALL POLES WILL BE MINIMUM 25' APART UNLESS NOTED OTHERWISE



CONSTRUCTION ACCESS OFF S 14TH AVE

PROJECT FENCE 8' CHAIN LINK OR GAME FENCE

16' SITE ACCESS GATE

300' RESIDENTIAL SETBACK (BASED ON AERIAL IMAGERY)

16' SITE ACCESS GATE

BFE: 3951'

PIONEER DRAINAGE DITCH & 30' ROW

PARCEL ID: 38052531300009

- EQUIPMENT PADS**
- (32) INVERTERS
 - (2) AC COMBINER PANEL
 - (2) CUSTOMER-OWNED PRODUCTION METER
 - (2) AC DISCONNECT
 - (2) AC SWITCHGEAR
 - DAS & WEATHER STATION
 - (2) GROUNDING XFMR
 - (2) PAD MOUNTED CUSTOMER OWNED STEP-UP XFMR (2000kVA)

EXISTING STEEL PUMPHOUSE

EXISTING FENCE

EXISTING OH UTILITY LINES

300' RESIDENTIAL SETBACKS (BASED ON AERIAL IMAGERY)

360' DC TRENCH TO EQUIPMENT PAD

6 DC COMBINER BOXES (66 STRINGS, 11 STRINGS/INVERTER)

PARCEL ID: 3805253100921

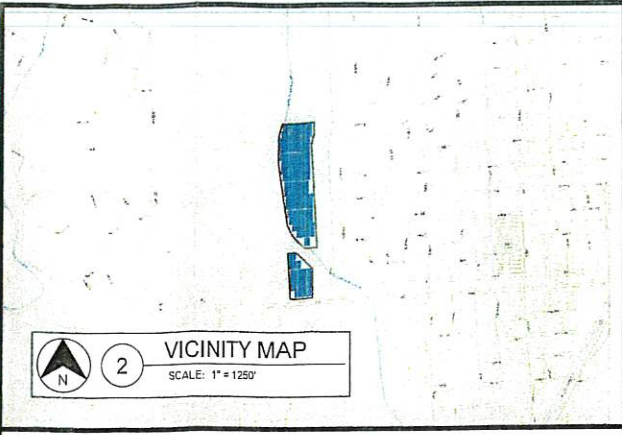
70' LOGAN COUNTY PUBLIC ROAD SETBACK

35' O.C. XCEL OH MV FEEDER SETBACK

EXISTING BURIED TELEPHONE LINE

EXISTING OVERHEAD XCEL 3Ø MV DISTRIBUTION FEEDER & 70' LOGAN COUNTY OH UTILITY SETBACK

16' SITE ACCESS GATE



SYSTEM SPECIFICATIONS

- SYSTEM SIZE: 5002.0kW_{DC} / 4,000kW_{AC}
- SPECIFIC YIELD: 1948 kWh/kWp/Yr
- ANNUAL PRODUCTION: 974454.6 kWh/Yr
- PV MODULE: (9178) TALESUN BIPRO TD7G72M-545 545W
- INVERTER: (32) CPS SCHI25KTL-DO/US-600 125kW
- RACKING: (8) ATI DURATRACK SINGLE-AXIS TRACKER
- GROUND COVERAGE RATIO: 0.34
- FENCED/LEASED AREA: 22.47 ACRES

SITE SPECIFICATIONS

- PARCEL ID: 38052531300009 & 38052531300921
- AHJ: LOGAN COUNTY
- ZONING SETBACKS:
 - 300' RESIDENTIAL SETBACK
 - 70' PROPERTY LINE SETBACK (WAIVER TO BE SOUGHT FOR PARCEL BOUNDARY SHARED BETWEEN EXISTING PS24, PS25, AND PS 37)
 - 70' SETBACK FROM OH ELECTRIC LINES
 - 70' SETBACK FROM PUBLIC ROAD, HIGHWAY, AND RAILROAD
 - 30' FROM SECTION LINE
- UTILITY: XCEL ENERGY
 - INTERCONNECTION SERVICE VOLTAGE: 13.2kv
 - POWER FACTOR: 0.98 LEADING
 - ASHRAE 2% AVG HIGH TEMP: 35.9°C
 - ASHRAE EXTREME LOW TEMP: -23.1°C
 - WIND SPEED: 103 MPH
 - SNOW LOAD: 30PSF
 - SITE GRADING: NONE IDENTIFIED
 - FLOODPLAINS: INFERRED FROM FEMA FLOODPLAIN MAP (NOT DELINEATED ON SURVEY)

LEGEND

- ACCESS ROAD
- AREA OF INTEREST
- HIGH VOLTAGE OVERHEAD ELECTRICAL LINES
- MEDIUM VOLTAGE OVERHEAD ELECTRICAL LINES
- MEDIUM VOLTAGE UNDERGROUND ELECTRICAL LINES
- LOW VOLTAGE ELECTRICAL LINES
- FENCELINE
- PARCEL BOUNDARY
- FIRE ACCESSWAYS
- FLOOD PLAIN
- OBSTRUCTIONS
- SETBACKS
- TREE REMOVAL
- VEGETATIVE BUFFER
- WETLAND AREA

POST SURVEY DESIGN	2024.04.22	DRWN	DATE
XCEL AWARD UPDATE	2023.09.07	REV	DESCRIPTION
RAILROAD ROW	2023.04.21		
PRELIMINARY DESIGN	2023.02.09		

THIS DOCUMENT IS THE PROPERTY OF PIVOT ENERGY. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED AND NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE WRITTEN CONSENT OF PIVOT ENERGY.

1601 NEWATTA ST, SUITE 700
DENVER, CO 80202
888-754-3033

PIVOT SOLAR 54 LLC
40.615129, -103.231226
STERLING, CO 80751

DATE: 2024.04.22

E100
ARRAY PLAN

Pivot Energy
Special Use Permit
SUP2024-240 July 2024
18234 Iris Drive (31-8-52)

1 ARRAY PLAN
SCALE: 1" = 150'

**RESOLUTION
NO. 2024-19**

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF LOGAN, STATE OF COLORADO**

A Resolution approving the Final Plat for Pickett Subdivision, Third Filing, which will consist of the platting of two (2) lots as shown on the Final Plat, located in a portion of the Southeast Quarter (SE1/4) of Section 13, Township 6 North, Range 54 West of the 6th Principal Meridian, Logan County, Colorado.

WHEREAS, William and Donna Pickett, have petitioned the Board of County Commissioners of Logan County, Colorado to formally approve the platting of a two (2) lot subdivision on a parcel of land described as follows:

A parcel of land in the Southeast Quarter (SE1/4) of Section 13, Township 6 North, Range 54 West of the 6th Principal Meridian, Logan County, Colorado, said parcel being more particularly described as follows:

Commencing at the South Quarter Corner of Section 13 Township 6 North, Range 54 West, of the 6th Principal Meridian, thence along the West Line of the Southeast Quarter of said Section 13, North 02°59'15" East, a distance of 965.34 feet, to a point on the South boundary line of Pickett Subdivision, Second Filing, recorded at reception number 754633, of the Logan County records, thence on said South boundary line, North 86°59'28" East, a distance of 347.02 feet, to the point of beginning;

Thence continuing on South Boundary Line, North 86°59'28" East, a distance of 475.98 feet, to a point on the Southwest property line of a parcel described at reception number 591343, of the Logan County records;

Thence on said Southwest property line South 38°58'13" East, a distance of 154.26 feet;

Thence continuing on said Southwest property line, South 38°58'13" East, a distance of 80.89 feet;

Thence continuing on said Southwest property line, South 38°58'13" East, a distance of 159.93 feet;

Thence departing said Southwest property line South 50°47'12" West, a distance of 50.29 feet, to the Northeast Corner of a drainage area, described at reception number 743032, of the Logan County records;

Thence on the Northwest Line of said drainage area, South 50°47'12" West, a distance of 59.80 feet, to the Northwest Corner of said drainage area;

Thence South 50°47'12" West, a distance of 275.17 feet;

Thence North 38°58'14" West, a distance of 50.00 feet;

Thence North 38°58'14" West, a distance of 190.96;

Thence North 38°58'14" West, a distance of 435.27 feet, more or less to the point of beginning.

The above described parcel contains 4.74 acres, more or less.

WHEREAS, William and Donna Pickett, owners of the combined parcel consisting of 4.74 acres, have, as shown on the Final Subdivision Plat, attached hereto and fully incorporated herein by reference, laid out, platted and proposed the creation of a subdivision under the name and style of Pickett Subdivision, Third Filing, Southeast Quarter (SE1/4) of Section 13, Township 6 North, Range 54 West of the 6th Principal Meridian, in Logan County, Colorado; and

WHEREAS, the applicant has demonstrated that an acceptable water source is available for each of the lots to be created; and

WHEREAS, all notices and posting requirements for hearing on the Preliminary and Final Minor Subdivision plat application were properly given, and the statements of interested persons were received, and

WHEREAS, the Logan County Planning Commission recommended approval of the Preliminary and Final Plat applications submitted by Jeremiah Curtis, after reviewing the application, studying the staff review, and taking testimony of any interested persons at its regular meeting on July 16, 2024.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Logan County, Colorado, that the application of William and Donna Pickett for the approval of the Final Plat for the proposed two (2) lot subdivision under the name and style of Pickett Subdivision, Third Filing, as legally described above and as laid out and platted on the Final Plat, attached hereto, is hereby GRANTED, subject to the following conditions:

- a. The applicant shall be responsible for maintaining ongoing compliance with all conditions or requirements set forth in the Logan County Zoning Resolution and Logan County Subdivision Regulations.
- b. The applicant shall fully comply with all of the terms and conditions of a Subdivision Improvements Agreement for Pickett Subdivision, Third Filing, if determined necessary by the Board, which agreement will restrict the conveyance, sale or transfer of any lots within the subdivision and the issuance of any building permits until its terms and conditions are fully complied with, all as provided in C.R.S. Sections 30-28-101(11) and 137.

DONE on Tuesday, this 30th day of July, 2024.

**LOGAN COUNTY BOARD OF COMMISSIONERS
LOGAN COUNTY, COLORADO**

(Aye)(Nay)
Mike Brownell, Chairman

(Aye)(Nay)
Joseph A. McBride, Vice-Chairman

(Aye)(Nay)
Jerry A. Sonnenberg, Commissioner

I, Pamela M. Bacon, County Clerk and Recorder in and for the County of Logan, State of Colorado, do hereby certify that the foregoing Resolution was adopted by the Board of County Commissioners of the Logan and State of Colorado, in regular session on the 30th day of July, 2024.

County Clerk and Recorder

Date Received in the Office of the Director of Planning: _____
 Application (is) (is not) complete as submitted.
 Named individual reviewing the submitted application: _____

**FORM 3. APPLICATION FOR
 PRELIMINARY PLAT APPROVAL
 (To be filed in duplicate)
 (Incomplete Applications will not be accepted)**

Jeremiah Curtis
SUB2024-1 July 2024
13-06-54

Date 04/25/24
 Major X
 Minor _____

1. Name of Subdivision Pickett Subdivision
2. Name of Applicant Jeremiah Curtis Phone 970-466-0670
 Address 3429 Tomber Lane Merino CO 80741
(Street No. and Name) (Post Office) (State) (Zip Code)
3. Name of Local Agent Jeremiah Curtis Phone Same
 Address Same
(Street No. and Name) (Post Office) (State) (Zip Code)
4. Owner of Record William Pickett Phone 970-231-8535
 Address 11719 Hwy 6 Merino CO 80741
(Street No. and Name) (Post Office) (State) (Zip Code)
5. Engineer _____ Phone _____
 Address _____
(Street No. and Name) (Post Office) (State) (Zip Code)
6. Land Surveyor Wild Cat Surveying Phone 308-279-2072
 Address _____
(Street No. and Name) (Post Office) (State) (Zip Code)
7. Attorney Brammer Law Phone 970-521-0700
 Address _____
(Street No. and Name) (Post Office) (State) (Zip Code)
8. Subdivision Location: on the North side of Hwy 6
4000 feet South of C.R. 25
(Direction) (Street)
9. Postal Delivery Area 80741 School District RE-4
10. Total Acreage 41 Zone A Number of Lots 2
11. Tax Map Designation: Article _____ Lot(s) _____
12. Has the Board of Adjustment granted a variance, exception, or conditional permit concerning this property?

COPY

If so, list Case No. and Name _____

13. Date of sketch plat approval _____

14. Have any changes been made since this plat was last before the Board? _____

If so, describe _____

15. List all land proposed to be subdivided _____

16. Park reservation approval has been granted by the Logan County Board of County Commissioners prior to Preliminary Plat hearing if subdivision is determined to be a major subdivision.

17. Owners of land 100 feet adjacent or opposite (apply to County Planning for listing).

18. Attach ten (10) copies of proposed preliminary plat.

19. Attach three (3) copies of construction plans.

20. List all contiguous holdings in the same ownership:

Section/Township/Range _____ Lot(s)

The applicant hereby consents to the provisions of §30-28-133, 30-28-133.1 or 30-28-137. Any applicable time periods may be extended by the county to receive a recommendation from any agency to which a plat has been referred or providing that the decision of the Planning Commission shall be made within sixty (60) days after the first meeting of the Planning Commission where the plan or plat was referred pursuant to § 30-28-136, but such extension shall not exceed thirty (30) days unless the agency has notified the county that it will require additional time to complete its recommendation.

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance into the present owner as recorded with the Register of Deeds. This affidavit shall indicate the legal ownership of the property; the contract owner of the property, and the date the contract of sale was executed.

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached [this need only be provided if Developer is requesting special assessment financing, the formation of improvement district(s) or benefit district(s)].

Jeremiah Curtis
SUB2024-1 July 2024
13-06-54

STATE OF COLORADO)
) SS:
COUNTY OF LOGAN)

I, _____ hereby depose and say that all of the above statements and the statements contained in the papers submitted herewith are true.

Mailing Address _____
(Street)

(County) (State) (Zip
Code)

Subscribed and sworn to before me this day of _____

MY COMMISSION EXPIRES:

Jeremiah Curtis
SUB2024-1 July 2024
13-06-54

FOR COUNTY USE

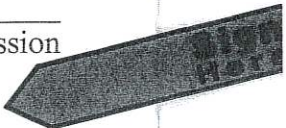
ation Fee: One Hundred Dollars (\$100.00)

f Planning Commission: _____

mendation of Planning Commission: _____ Approval _____ Denial

mended Conditions of Subdivision or Planned Unit Development: _____

Chairperson, Planning Commission



COMMISSIONERS ACTION:

ons of Subdivision or Planned Unit Development: _____

Date Granted: _____

Date Denied: _____



Mike Brownell (Aye) (Nay)

Joseph A. McBride (Aye) (Nay)

Jerry A. Sonnenberg (Aye) (Nay)

PICKETT SUBDIVISION, THIRD FILING
 LOT 1 AND LOT 2, BEING IN THE SOUTH HALF OF SECTION 13,
 TOWNSHIP 6 NORTH, RANGE 54 WEST, OF THE 6TH P.M.
 ALSO BEING IN LOGAN COUNTY COLORADO.

Survey History		
Date	Description	Initials
05-20-24	FIELD SURVEY	CJG
05-21-24	DRAFTED SURVEY	CJG



FINAL PLAT			
Plan Sheet			
Project Number:	560-01-2024		
Project Location:	SOUTH SIDE OF MERINO COLORADO (LOGAN COUNTY, COLORADO)		
Project Code	Last Mod. Date	Subset	Sheet No.

PROPERTY DESCRIPTION EXTERIOR BOUNDARY OF PICKETT SUBDIVISION, THIRD FILING , LOTS 1 AND 2:

A PARCEL OF LAND KNOWN AS PICKETT SUBDIVISION, THIRD FILING, LOTS 1 AND 2, CONTAINING 4.74 ACRES, MORE OR LESS, IN THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 54 WEST, OF THE 6TH PRINCIPAL MERIDIAN, IN LOGAN COUNTY, COLORADO, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 54 WEST, OF THE 6TH PRINCIPAL MERIDIAN, THENCE ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13, NORTH 02°59'15" EAST, A DISTANCE OF 965.34 FEET, TO A POINT ON THE SOUTH BOUNDARY LINE OF PICKETT SUBDIVISION, SECOND FILING, RECORDED AT RECEPTION NUMBER 754633, OF THE LOGAN COUNTY RECORDS, THENCE ON SAID SOUTH BOUNDARY LINE , NORTH 86°59'28" EAST, A DISTANCE OF 347.02 FEET, TO THE POINT OF BEGINNING;

THENCE CONTINUING ON SOUTH BOUNDARY LINE, NORTH 86°59'28" EAST, A DISTANCE OF 475.98 FEET, TO A POINT ON THE SOUTHWEST PROPERTY LINE OF A PARCEL DESCRIBED AT RECEPTION NUMBER 591343, OF THE LOGAN COUNTY RECORDS;

THENCE ON SAID SOUTHWEST PROPERTY LINE SOUTH 38°58'13" EAST, A DISTANCE OF 154.26 FEET;

THENCE CONTINUING ON SAID SOUTHWEST PROPERTY LINE, SOUTH 38°58'13" EAST, A DISTANCE OF 80.89 FEET;

THENCE CONTINUING ON SAID SOUTHWEST PROPERTY LINE, SOUTH 38°58'13" EAST, A DISTANCE OF 159.93 FEET;

THENCE DEPARTING SAID SOUTHWEST PROPERTY LINE SOUTH 50°47'12" WEST, A DISTANCE OF 50.29 FEET, TO THE NORTHEAST CORNER OF A DRAINAGE AREA, DESCRIBED AT RECEPTION NUMBER 743032, OF THE LOGAN COUNTY RECORDS;

THENCE ON THE NORTHWEST LINE OF SAID DRAINAGE AREA, SOUTH 50°47'12" WEST, A DISTANCE OF 59.80 FEET, TO THE NORTHWEST CORNER OF SAID DRAINAGE AREA;

THENCE SOUTH 50°47'12" WEST, A DISTANCE OF 275.17 FEET;

THENCE NORTH 38°58'14" WEST, A DISTANCE OF 50.00 FEET;

THENCE NORTH 38°58'14" WEST, A DISTANCE OF 190.96 FEET;

THENCE NORTH 38°58'14" WEST, A DISTANCE OF 435.27 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 4.74 ACRES, MORE OR LESS.

SURVEY NOTES

- THIS SURVEY RELIES ON STEWART TITLE COMPANY, FOR ALL TITLE INFORMATION. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY WILDCAT SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY AND TITLE OF RECORD, REFERENCE THE COMMITMENT NUMBER LISTED ABOVE.
- THIS SURVEY DOES NOT REFLECT A SEARCH OF UNDERGROUND UTILITIES AND IT DOES NOT DEPICT ANY UNDERGROUND UTILITIES OR SUBSURFACE CONFLICTS THAT MAY ARISE.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS SURVEY, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH ARE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES, RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- BASIS OF BEARINGS: ALL BEARINGS ARE BASED ON THE WEST LINE OF THE SOUTHEAST QUARTER SECTION 13, TOWNSHIP 6 NORTH, RANGE 54 WEST, OF THE 6TH PRINCIPAL MERIDIAN, BEING A GRID BEARING OF SOUTH 02°59'15" EAST, A DISTANCE OF 1301.22 FEET AS OBTAINED FROM A GLOBAL POSITIONING SYSTEM (GPS) SURVEY BASED ON THE COLORADO HIGH ACCURACY REFERENCE NETWORK (CHARN). SAID GRID BEARING IS NAD 83 (2011) COLORADO STATE PLANE ZONE 501.
- ALL DIMENSIONS SHOWN HEREON ARE U.S. SURVEY FEET.
- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

OWNER'S CERTIFICATE / DEDICATION STATEMENT

KNOW ALL MEN BY THESE PRESENTS: THAT WILLIAM T. PICKETT AND DONNA R. PICKETT, THE OWNERS OF THE LAND INCLUDED WITH IN THIS SUBDIVISION PLAT SHOWN HEREON AS PICKETT SUBDIVISION, THIRD FILING, LOT 1 AND LOT 2, BEING IN THE SOUTH HALF OF SECTION 13, TOWNSHIP 6 NORTH, RANGE 54 WEST, OF THE 6TH P.M. ALSO BEING IN LOGAN COUNTY COLORADO, THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS CLEAR TITLE TO SAID LAND AND I HEREBY DEDICATE TO THE PUBLIC FOR USE AS SUCH, ANY SHOWN PUBLIC ROADWAYS AND ANY UTILITY EASEMENTS SHOWN ON THE SAID SUBDIVISION AND INCLUDED IN THE ABOVE DESCRIBED PREMISES:

IN WITNESS WHEREOF THIS DEDICATION IS EXECUTED THIS _____ DAY OF _____, 2024.

 WILLIAM T. PICKETT

 DONNA R. PICKETT

STATE OF COLORADO)
)SS
 COUNTY OF LOGAN)

THE FOREGOING CERTIFICATION WAS ACKNOWLEDGED BEFORE ME

THIS _____ DAY OF _____, 2024

MY COMMISSION EXPIRES _____

NOTARY PUBLIC _____

 WITNESS MY HAND & SEAL

RECORDER'S CERTIFICATE

I, _____, CLERK AND RECORDER OF LOGAN COUNTY, COLORADO, HEREBY CERTIFY THAT THE BOARD OF COUNTY COMMISSIONERS OF LOGAN COUNTY COLORADO ON THE _____ DAY OF _____, 2024, ACCEPTED ON BEHALF OF THE PUBLIC THE FOREGOING DESCRIBED PARCEL OF REAL PROPERTY OFFERED FOR DEDICATION FOR PUBLIC USE, IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION.

 CLERK AND RECORDER, LOGAN COUNTY, COLORADO (SEAL)

PLAT NOTE

LOGAN COUNTY HAS ADOPTED A RIGHT TO FARM AND RANCH POLICY, RESOLUTION #99-50 RECORDED SEPTEMBER 21, 1999, IN BOOK 925, PAGE 430 OF THE LOGAN COUNTY RECORDS. PLEASE READ IT AND BE AWARE OF ITS PROVISIONS.

PLANNING COORDINATOR CERTIFICATE

THIS PLAT HAS BEEN CHECKED FOR CONFORMANCE TO ARTICLE 8 OF THE LOGAN COUNTY SUBDIVISION REGULATIONS AND APPEARS TO COMPLY WITH ALL THE REQUIREMENTS.

 LOGAN COUNTY PLANNING COORDINATOR

 DATED

CHAIRMAN - LOGAN COUNTY PLANNING COMMISSION CERTIFICATE

I HAVE REVIEWED THIS PLAT AND CONCUR WITH STAFF THAT THIS PLAT APPEARS TO BE IN CONFORMANCE WITH ALL THE REQUIREMENTS OF ARTICLE 8 OF THE LOGAN COUNTY SUBDIVISION REGULATIONS AND SUBMIT THIS TO THE BOARD OF COUNTY COMMISSIONERS FOR FINAL APPROVAL.

 CHARIMAN -LOGAN COUNTY PLANNING COMMISSION

 DATED

BOARD OF COUNTY COMMISSIONERS CERTIFICATE

THIS PLAT IS ACCEPTED AND APPROVED FOR FILING THIS _____ DAY OF _____, 2024.

 CHARIMAN OF THE BOARD OF COMMISSIONERS

 DATED

ATTEST:
 COUNTY CLERK AND RECORDER

BY _____

DATE _____

SURVEYOR'S STATEMENT

I, CARL JOHN GILBERT, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE SURVEY REPRESENTED BY THIS PLAT WAS MADE BY ME OR UNDER MY SUPERVISION AND THIS PLAT ACCURATELY REPRESENTS SAID SURVEY BASED UPON MY KNOWLEDGE, INFORMATION, AND BELIEF. I ALSO STATE THAT THE SURVEY AND THIS PLAT COMPLIES WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS OF THE STATE OF COLORADO, STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

I ATTEST THE ABOVE ON THIS 22ND DAY OF MAY, 2024.

Carl John Gilbert

 CARL JOHN GILBERT
 COLORADO PROFESSIONAL LAND SURVEYOR NO. 38287
 FOR AND ON BEHALF OF WILDCAT SURVEYING
 307 CHURCH STREET
 HARRISBURG, NE 69345
 PHONE : 308-279-2072

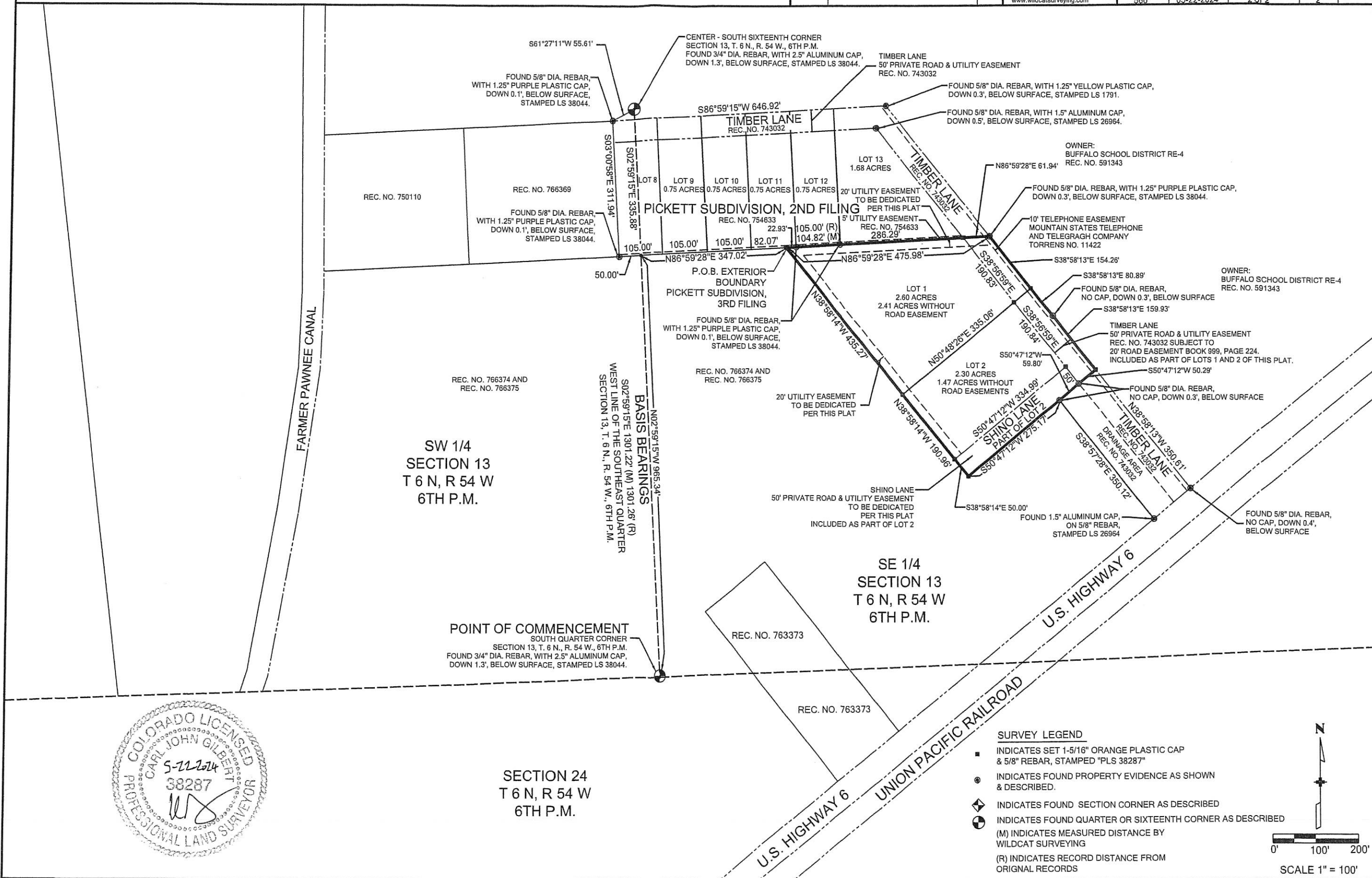
PICKETT SUBDIVISION, THIRD FILING
 LOT 1 AND LOT 2, BEING IN THE SOUTH HALF OF SECTION 13,
 TOWNSHIP 6 NORTH, RANGE 54 WEST, OF THE 6TH P.M.
 ALSO BEING IN LOGAN COUNTY COLORADO.

Survey History		
Date	Description	Initials
05-20-24	FIELD SURVEY	CJG
05-21-24	DRAFTED SURVEY	CJG




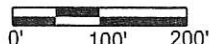
Wildcat Surveying
 307 Church Street,
 Harrisburg NE 68345
 Phone: 308-279-2072
 www.wildcatsurveying.com

FINAL PLAT			
Plan Sheet			
Project Number:	560-01-2024		
Project Location:	SOUTH SIDE OF MERINO COLORADO (LOGAN COUNTY, COLORADO)		
Project Code	Last Mod. Date	Subset	Sheet No.
560	05-22-2024	2 of 2	2



SURVEY LEGEND

- INDICATES SET 1-5/16" ORANGE PLASTIC CAP & 5/8" REBAR, STAMPED "PLS 38287"
- INDICATES FOUND PROPERTY EVIDENCE AS SHOWN & DESCRIBED.
- ◆ INDICATES FOUND SECTION CORNER AS DESCRIBED
- ⊙ INDICATES FOUND QUARTER OR SIXTEENTH CORNER AS DESCRIBED
- (M) INDICATES MEASURED DISTANCE BY WILDCAT SURVEYING
- (R) INDICATES RECORD DISTANCE FROM ORIGINAL RECORDS



 SCALE 1" = 100'

AGREEMENT TO USE LOGAN COUNTY RIGHT OF WAY
INDIVIDUAL PERMIT

THIS AGREEMENT made this (County fills in) _____ day of _____, _____, by and between the County of Logan, State of Colorado, hereinafter called "County", and Viaero Fiber Networks, LLC the undersigned easement holder or landowner, hereinafter called "Applicant".

WHEREAS, Applicant owns the following described premises, or has an easement on, over or through said premises, to-wit (legal description): Starting at the NW corner of S6 T9N R52W and continue to the SW corner S7 T9N R52W

From this location continue west along the south line of S11 & S12 of T9N R53W and then north along the SW corner of S11 T9N R53W

WHEREAS, Applicant desires to install and construct a Fiber Optic telecom system, which will be located **(Circle One)** along, bore under, or trench across county road 37, 46 and 330, to benefit the above described premises; and

WHEREAS, the County is willing to allow such installation and construction by Applicant, but only upon the terms and covenants contained herein.

NOW, THEREFORE, in consideration of paying the County the sum of **\$100.00** or **\$200.00** and keeping of the terms and covenants contained herein, the parties agree as follows:

- Applicant agrees to furnish the County in writing in advance of installation the exact location and dimensions of said installation and construction.

- Buried installations must be at no less than 48 inches below the lowest level of any borrow ditch paralleling the County Road and an "Individual permit" must be submitted for each instance.

- Applicant shall have the right to install and construct Fiber Optic telecom system, described above, in the right of way of Logan County, but such installation and construction shall be done only in the following manner. All work within the county ROW shall be performed only during regular business hours of the Logan County Road & Bridge Department to enable supervision and inspection of the work.

- All work authorized by this Agreement **shall be completed no later than** November 30, 2024.

- It is understood that no paved or oil-surfaced road shall be cut and will be crossed by boring only. For other roads and crossings of County property after installation. Applicant shall restore the surface to the same condition as existed prior to such construction.

- All cost and expense of installation, construction, maintenance, removal, or replacement is to be paid by the Applicant.

- The traveling public must be protected during this installation with proper warning signs or signals both day and night. Warning signs and signals shall be installed by and at the expense of Applicant.

- Applicant hereby releases the County from any liability for damages caused by said Fiber Optic telecom system, whether caused by employees or equipment of the County, or others, at any time. Further, Applicant agrees to protect, save and hold harmless, and indemnify the County from and against all liability, loss, damages, personal injuries or expenses suffered by or imposed against the County by reason of the construction, installation or maintenance of the above described improvement.

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling

No perpetual easement or right of way is granted by this instrument and should Applicant's use of said right-of-way interfere with the County's use, or intended use of said right-of-way, Applicant will remove or relocate the same upon demand of the County. Applicant shall pay all costs of such removal or relocation.

This Agreement shall be a covenant running with the above-described real property and shall be binding upon the parties hereto, their heirs, successors, personal representatives, and assigns.

Other Provisions: _____

Owner #1

Printed name

Signature

Owner #2

Printed Name

Signature

Individual Right-of-Way Permit Applicant:

RON CHRISTENSEN

Printed name

Ronald Christensen

Signature

Address: 17372 US HWY 34, FORT
MORGAN, CO 80701

Application Fee Paid _____

Date _____

Email:

RON.CHRISTENSEN@VIAEROFIBER.COM

____ Signed at Sterling, Colorado the day and year first above written.

**THE BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO**

Mike Brownell (Aye) (Nay)

Joseph A. McBride (Aye) (Nay)

Jerry A. Sonnenberg (Aye) (Nay)

VIAERO FIBER NETWORKS, LLC CONSTRUCTION PLANS NORTH STERLING RESERVOIR STATE PARK VISITOR CENTER LOGAN COUNTY

CONSTRUCTION NOTES:

1. CONTRACTOR MUST HAVE A COPY OF THE APPROVED PERMIT FROM THE APPROPRIATE AGENCIES ON THE JOBSITE AT ALL TIMES.
2. ALL WORK IS TO BE IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION IN THE WORK ZONE.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, QUANTITIES, AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. CONTRACTOR MUST OBTAIN LOCATES AND POTHOLE ALL UTILITIES ALONG THE PLANNED RUNNING LINE PRIOR TO CONSTRUCTION.
5. THE UTILITY SIZE AND EXACT LOCATION CROSSING THE PROPOSED RUNNING LINE SHALL BE DETERMINED DURING THE POTHOLE PROCESS AND NOTED ON THE CONSTRUCTION DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION AND AVOIDING ALL CONFLICTS WITH EXISTING UTILITIES.
7. ALL CABLE IS TO BE PLACED AT THE VIAERO STANDARD MINIMUM DEPTH OF 48".
8. ANY DISTURBED LANDSCAPING IS TO BE REPLACED TO EQUAL OR BETTER THAN THAT WHICH EXISTED PRIOR TO WORK.
9. ALL WORK IS TO BE PROPERLY BACKFILLED PRIOR TO END OF WORKDAY. NO OPEN TRENCHES ARE ALLOWED OVERNIGHT.
10. NO CONSTRUCTION ON PRIVATE PROPERTY IS TO COMMENCE UNTIL EASEMENT IS GRANTED IN WRITING BY VIAERO.
11. IN AREAS WHERE PROPOSED WORK IS IN CLOSE PROXIMITY TO EXISTING RIGHTS-OF-WAYS AND/OR PROPERTY LINES, CONTRACTOR IS RESPONSIBLE FOR LOCATING SAID LINES AND AVOIDING ENCROACHMENT ONTO UNAUTHORIZED PROPERTY.
12. THESE PLANS ARE PRESENTED IN A PERFORMANCE SPECIFICATION FORMAT. BIDDING CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.
13. CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.

CONTACT INFORMATION:

VIAERO FIBER NETWORKS, LLC
 RON CHRISTENSEN PH: 970-467-3142
 ron.christensen@viaero.com

KLJ ENGINEERING, LLC
 MICHAEL NORTHRUP PH: 720-734-3624
 michael.northrup@kljeng.com

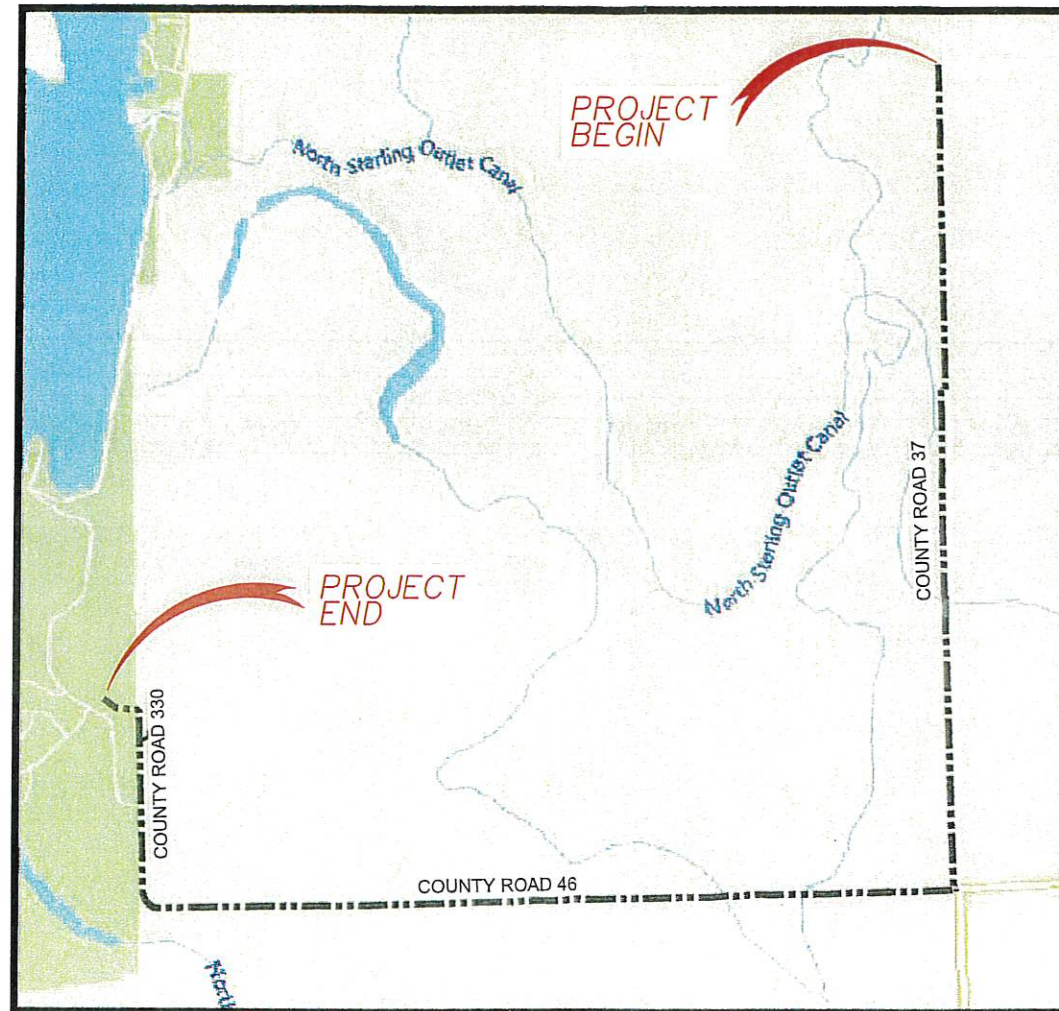
LOGAN COUNTY
 JEFF REEVES PH: 970-522-3426
 reevesj@logancountyco.gov

GENERAL NOTES:

1. RUNNING LINE PLAN COLOR INDICATES:
 VICINITY MAP: BLACK = FOR ROUTE ONLY
 PLAN SHEETS: RED = DIRECTIONAL BORE
 PLAN SHEETS: GREEN = PLOW
 PLAN SHEETS: TRENCH = ORANGE

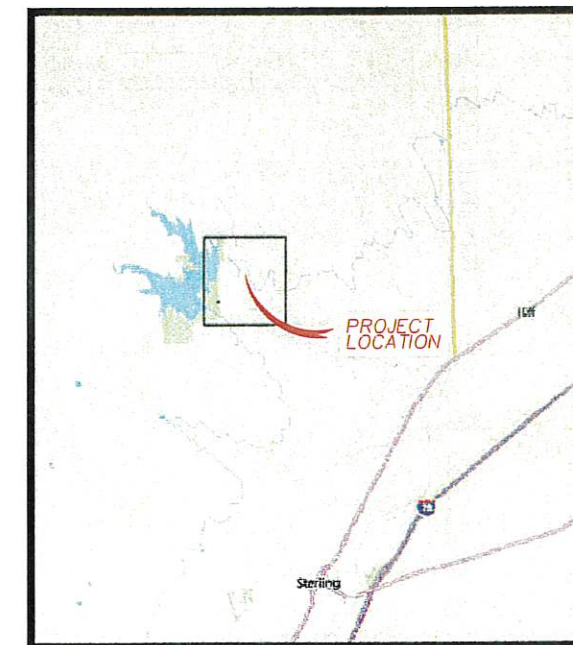
SCOPE OF WORK:

THIS PROJECT IS PROPOSED TO CONSTRUCT CONDUITS UNDERGROUND WITHIN THE LOGAN COUNTY RIGHT-OF-WAY. PLEASE REFERENCE THE PROJECT MAP ON THIS SHEET FOR CLARITY. THIS PROPOSED PROJECT IS APPROXIMATELY 23522 FT IN LENGTH.



Project Map
NOT TO SCALE

WORK PLAN INDEX	
SHEET	DRAWING NAME
01	COVER SHEET
02-13	PROJECT SHEET
14	PROJECT NOTES
15	PROJECT DETAILS



Vicinity Map
NOT TO SCALE

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	23522'	
FT	VIAERO 72 FIBER	23984'	
FT	VIAERO 12 FIBER	1252'	
EA	VIAERO 24"X36"X24"/20K HH	10	
EA	VIAERO 24"X36"X24"/20K SP HH	2	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	TRENCH (2) 1.25" SDR-11	375'	
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	5425'	
FT	PLOW (2) 1.25" SDR-11	17722'	
FT	PLACE VIAERO FIBER	25236'	
EA	PLACE VIAERO 24"X36"X24"/20K HH	10	
EA	PLACE VIAERO 24"X36"X24"/20K SP HH	2	

PROJECT APPROVAL SIGN-OFFS:

LOGAN COUNTY _____ DATE: _____

VIAERO FIBER NETWORKS, LLC _____ DATE: _____

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STREET LIGHT
- EXISTING UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED - CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- BORE PIT
- EXISTING WELL
- EXISTING LANDSCAPE AREA
- EXISTING POLE CELL TOWER
- EXISTING RR CROSSING ARM

LINETYPES

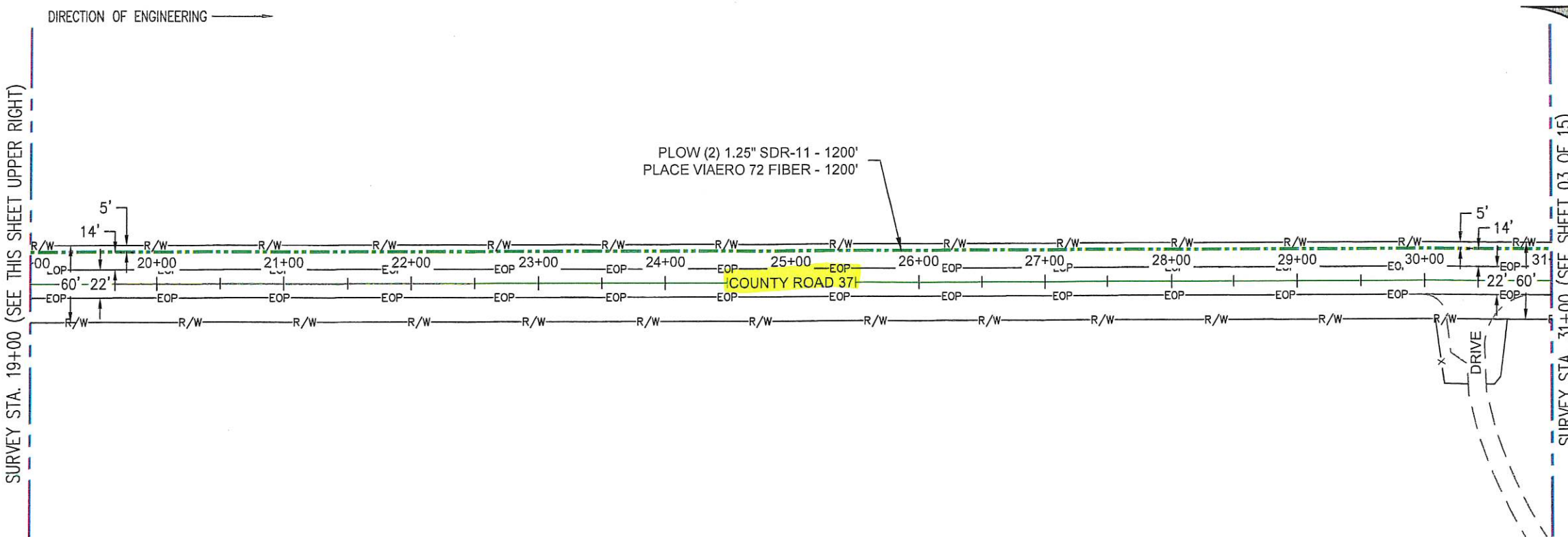
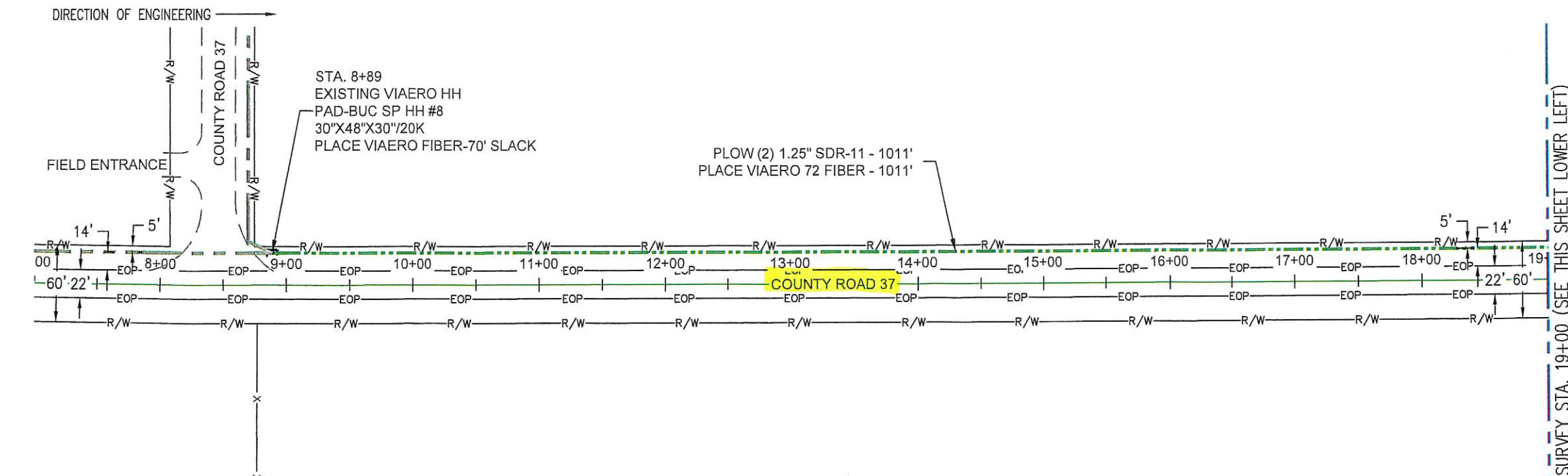
- CONDUIT-NOT IN CONTRACT
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- WIRE FENCE-EXISTING
- WOOD FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- OVERHEAD ELECTRIC-EXISTING
- BURIED FIBER-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING



DATE CREATED:	5/8/2024
DATE REVISED:	----
DATE PLOTTED:	6/20/2024
DRAWN BY:	ANTONIO MATA
CHECKED BY:	JEFF RICHER
APPROVED BY:	_____
COMPANY:	VIAERO FIBER NETWORKS, LLC
SITE ADDRESS:	PADRONI, CO TO STERLING RESERVOIR LOGAN COUNTY
FILE NAME:	North Sterling Reservoir State Park Visitor Center County.dwg
DESCRIPTION:	CONSTRUCTION PLANS COVER SHEET
MAP:	01 OF 15

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling





SURVEY STA. 19+00 (SEE THIS SHEET UPPER RIGHT)

SURVEY STA. 19+00 (SEE THIS SHEET LOWER LEFT)

SURVEY STA. 31+00 (SEE SHEET 03 OF 15)

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STREET LIGHT
- EXISTING UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED - CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO INSET HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- BORE PIT
- EXISTING WELL
- EXISTING LANDSCAPE AREA
- EXISTING POLE CELL TOWER
- EXISTING RR CROSSING ARM

LINETYPES

- CONDUIT-NOT IN CONTRACT
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- WIRE FENCE-EXISTING
- WOOD FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- OVERHEAD ELECTRIC-EXISTING
- BURIED FIBER-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING

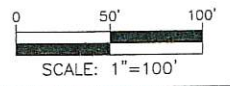


DATE CREATED:	5/8/2024
DATE REVISED:	---
DATE PLOTTED:	6/20/2024
DRAWN BY:	ANTONIO MATA
CHECKED BY:	JEFF RICHER
APPROVED BY:	_____
COMPANY:	VIAERO FIBER NETWORKS, LLC
SITE ADDRESS:	PADRONI, CO TO STERLING RESERVOIR LOGAN COUNTY
FILE NAME:	North Sterling Reservoir State Park Visitor Center County.dwg
DESCRIPTION:	CONSTRUCTION PLANS PROJECT SHEET
MAP:	02 OF 15

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2211'	
FT	VIAERO 72 FIBER	2281'	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (2) 1.25" SDR-11	2211'	
FT	PLACE VIAERO 72 FIBER	2281'	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling

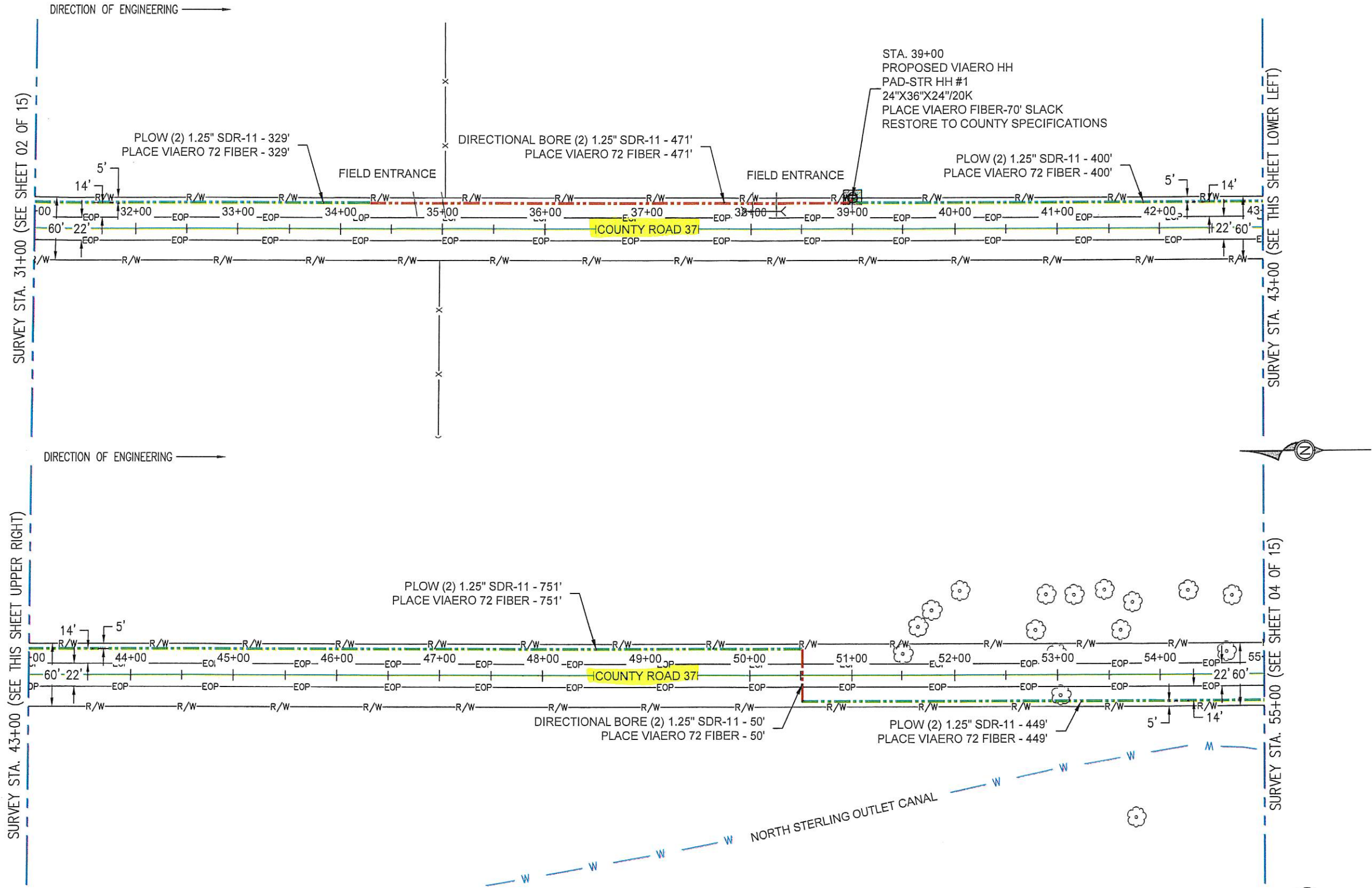


LEGEND

- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - GAS METER
 - ELECTRIC METER
 - UTILITY VALVE
 - UTILITY POLE
 - UTILITY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING STREET LIGHT
 - EXISTING UTILITY HANDHOLE
 - ELECTRICAL/UTILITY CABINET
 - TELEPHONE PED - CROSS BOX
 - PROPOSED VIAERO MANHOLE
 - PROPOSED VIAERO HANDHOLE
 - STORM INLET
 - STORM GRATE
 - CULVERT
 - TREE
 - BORE PIT
 - EXISTING WELL
 - EXISTING LANDSCAPE AREA
 - EXISTING POLE CELL TOWER
 - EXISTING RR CROSSING ARM
- LINETYPES**
- CONDUIT-NOT IN CONTRACT
 - CONDUIT-PLOW
 - CONDUIT-TRENCH
 - CONDUIT-DIRECTIONAL BORE
 - RIGHT-OF-WAY
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - EDGE OF SIDEWALK
 - WIRE FENCE-EXISTING
 - WOOD FENCE-EXISTING
 - GUARD RAIL-EXISTING
 - RAILROAD-EXISTING
 - GAS-EXISTING
 - UNDERGROUND ELECTRIC-EXISTING
 - OVERHEAD ELECTRIC-EXISTING
 - BURIED FIBER-EXISTING
 - TELEPHONE-EXISTING
 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STREAM
 - WATER-EXISTING
 - BUILDING-EXISTING



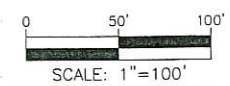
DATE CREATED:	5/8/2024
DATE REVISED:	---
DATE PLOTTED:	6/20/2024
DRAWN BY:	ANTONIO MATA
CHECKED BY:	JEFF RICHER
APPROVED BY:	_____
COMPANY:	VIAERO FIBER NETWORKS, LLC
SITE ADDRESS:	PADRONI, CO TO STERLING RESERVOIR LOGAN COUNTY
FILE NAME:	North Sterling Reservoir State Park Visitor Center County.dwg
DESCRIPTION:	CONSTRUCTION PLANS PROJECT SHEET
MAP:	03 OF 15

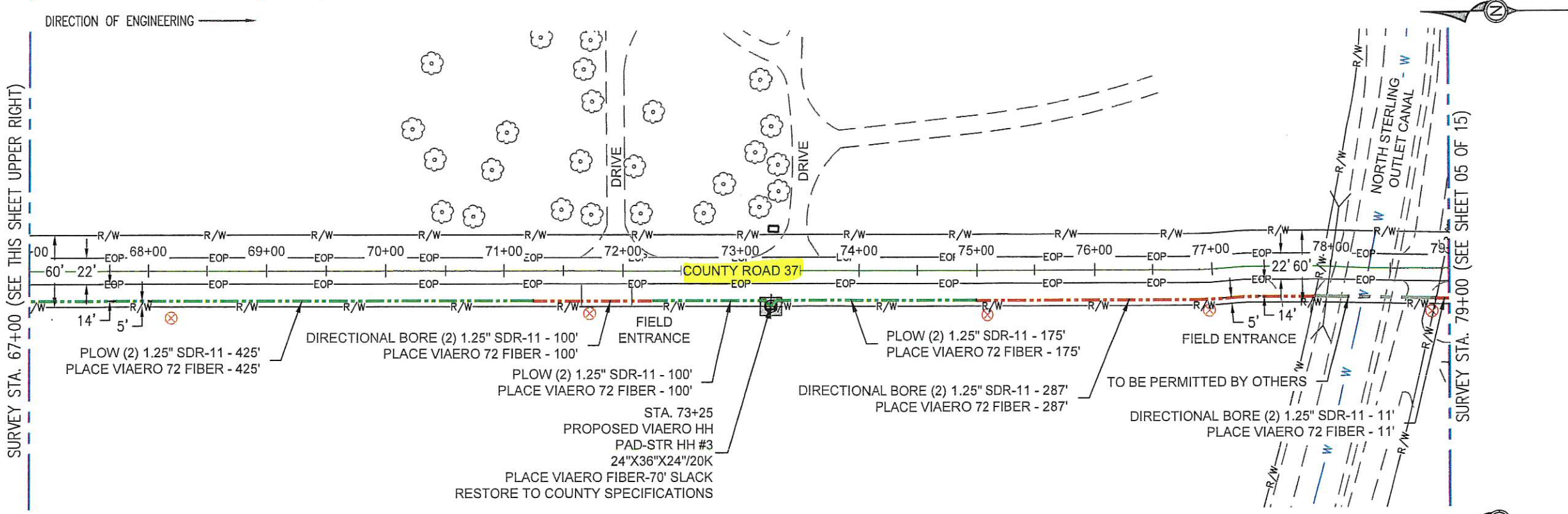
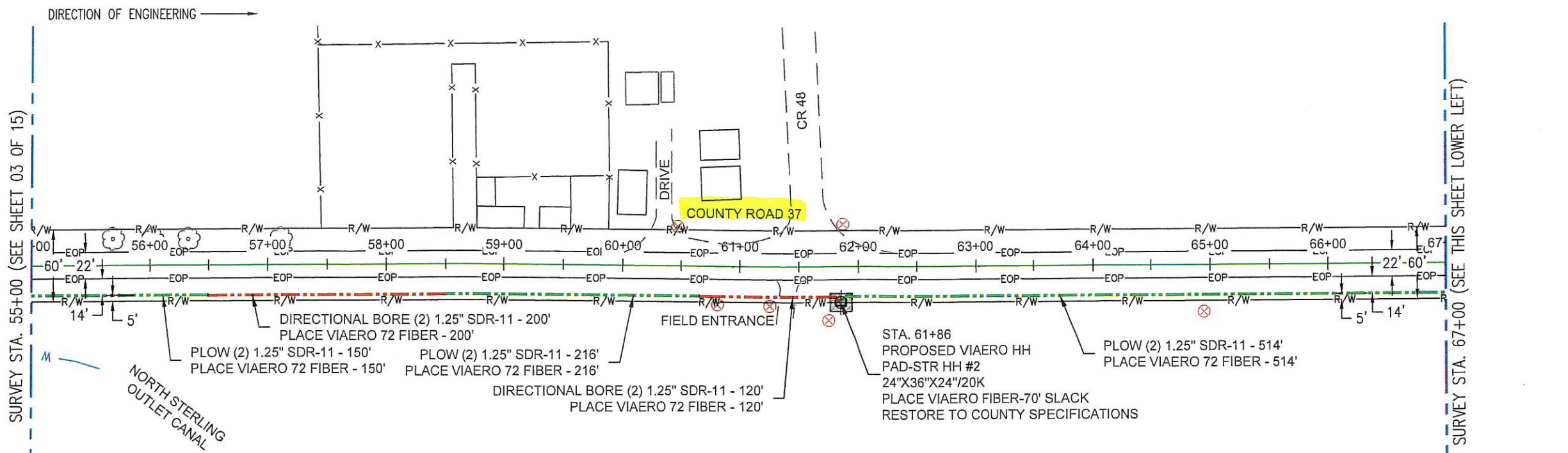


UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2450'	
FT	VIAERO 72 FIBER	2520'	
EA	VIAERO 24"X36"X24"/20K HH	1	

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	521'	
FT	PLOW (2) 1.25" SDR-11	1929'	
FT	PLACE VIAERO 72 FIBER	2520'	
EA	PLACE VIAERO 24"X36"X24"/20K HH	1	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling





SURVEY STA. 55+00 (SEE SHEET 03 OF 15)

SURVEY STA. 67+00 (SEE THIS SHEET UPPER RIGHT)

SURVEY STA. 67+00 (SEE THIS SHEET LOWER LEFT)

SURVEY STA. 79+00 (SEE SHEET 05 OF 15)

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STREET LIGHT
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- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
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- STORM GRATE
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- TREE
- BORE PIT
- EXISTING WELL
- EXISTING LANDSCAPE AREA
- EXISTING POLE CELL TOWER
- EXISTING RR CROSSING ARM

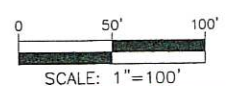
LINETYPES

- CONDUIT-NOT IN CONTRACT
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
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- BURIED FIBER-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2298'	
FT	VIAERO 72 FIBER	2438'	
EA	VIAERO 24"X36"X24"/20K HH	2	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	718'	
FT	PLOW (2) 1.25" SDR-11	1580'	
FT	PLACE VIAERO 72 FIBER	2438'	
EA	PLACE VIAERO 24"X36"X24"/20K HH	2	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling



VIAERO
Fiber Networks, LLC

DATE CREATED: 5/8/2024
 DATE REVISED: ----
 DATE PLOTTED: 6/20/2024
 DRAWN BY: ANTONIO MATA
 CHECKED BY: JEFF RICHER
 APPROVED BY: _____

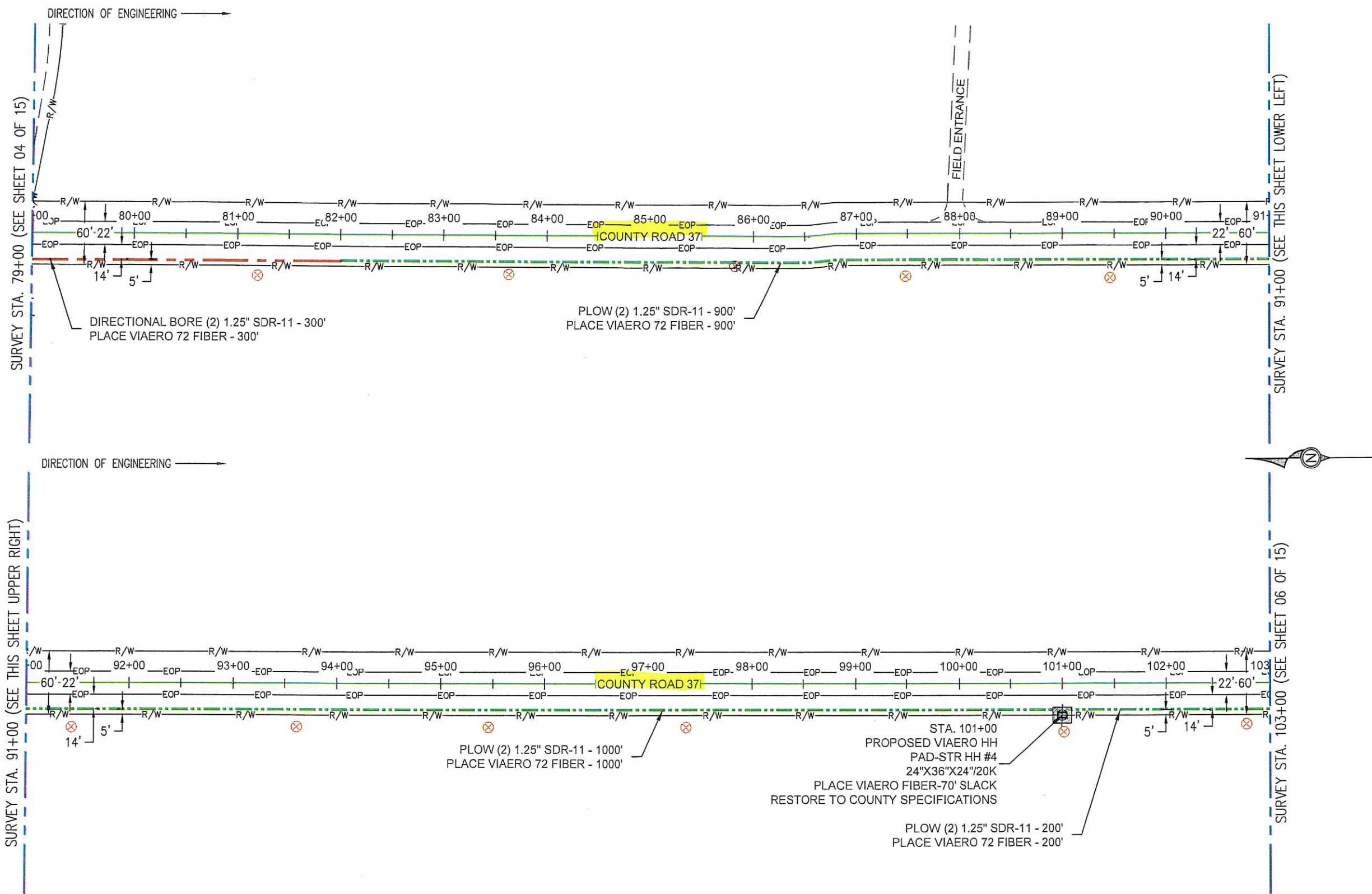
COMPANY:
VIAERO FIBER NETWORKS, LLC

SITE ADDRESS:
PADRONI, CO TO STERLING RESERVOIR
LOGAN COUNTY

FILE NAME:
North Sterling Reservoir State Park
Visitor Center County.dwg

DESCRIPTION: CONSTRUCTION PLANS
PROJECT SHEET

MAP: 04 OF 15



SURVEY STA. 79+00 (SEE SHEET 04 OF 15)

SURVEY STA. 91+00 (SEE THIS SHEET UPPER RIGHT)

SURVEY STA. 91+00 (SEE THIS SHEET LOWER LEFT)

SURVEY STA. 103+00 (SEE SHEET 06 OF 15)

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STREET LIGHT
- EXISTING UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED - CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- BORE PIT
- EXISTING WELL
- EXISTING LANDSCAPE AREA
- EXISTING POLE CELL TOWER
- EXISTING RR CROSSING ARM

LINETYPES

- CONDUIT-NOT IN CONTRACT
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- WIRE FENCE-EXISTING
- WOOD FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- OVERHEAD ELECTRIC-EXISTING
- BURIED FIBER-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING

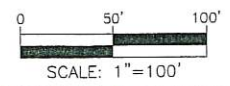


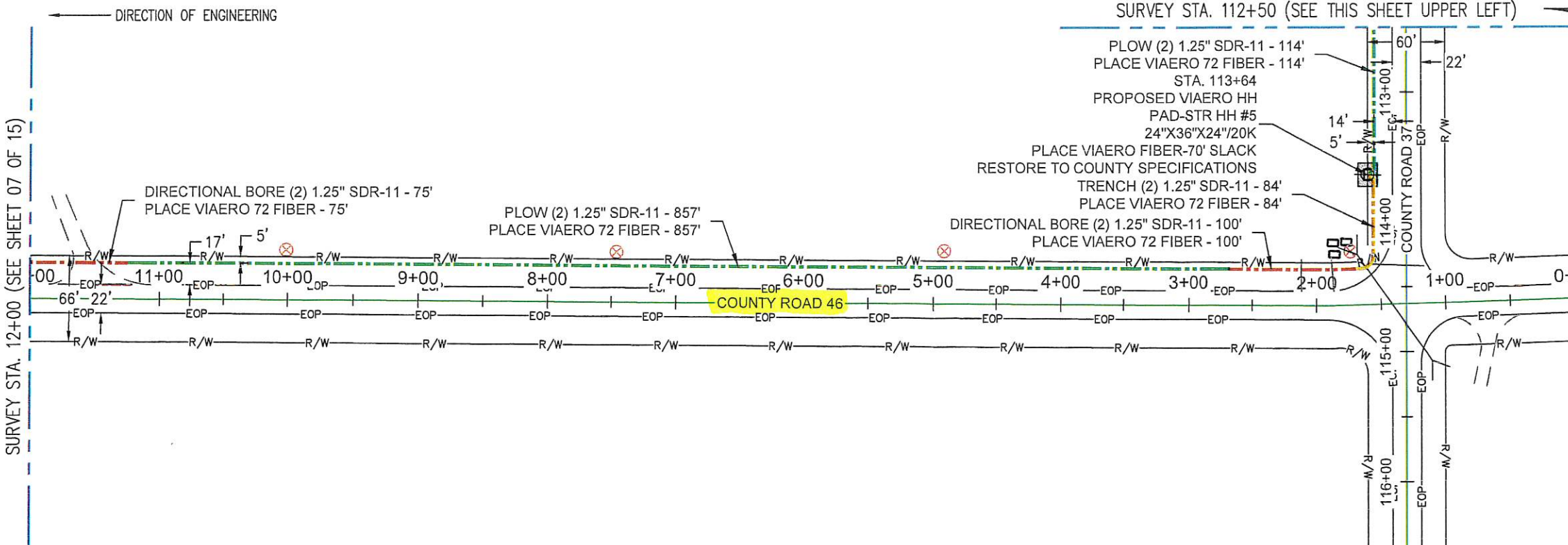
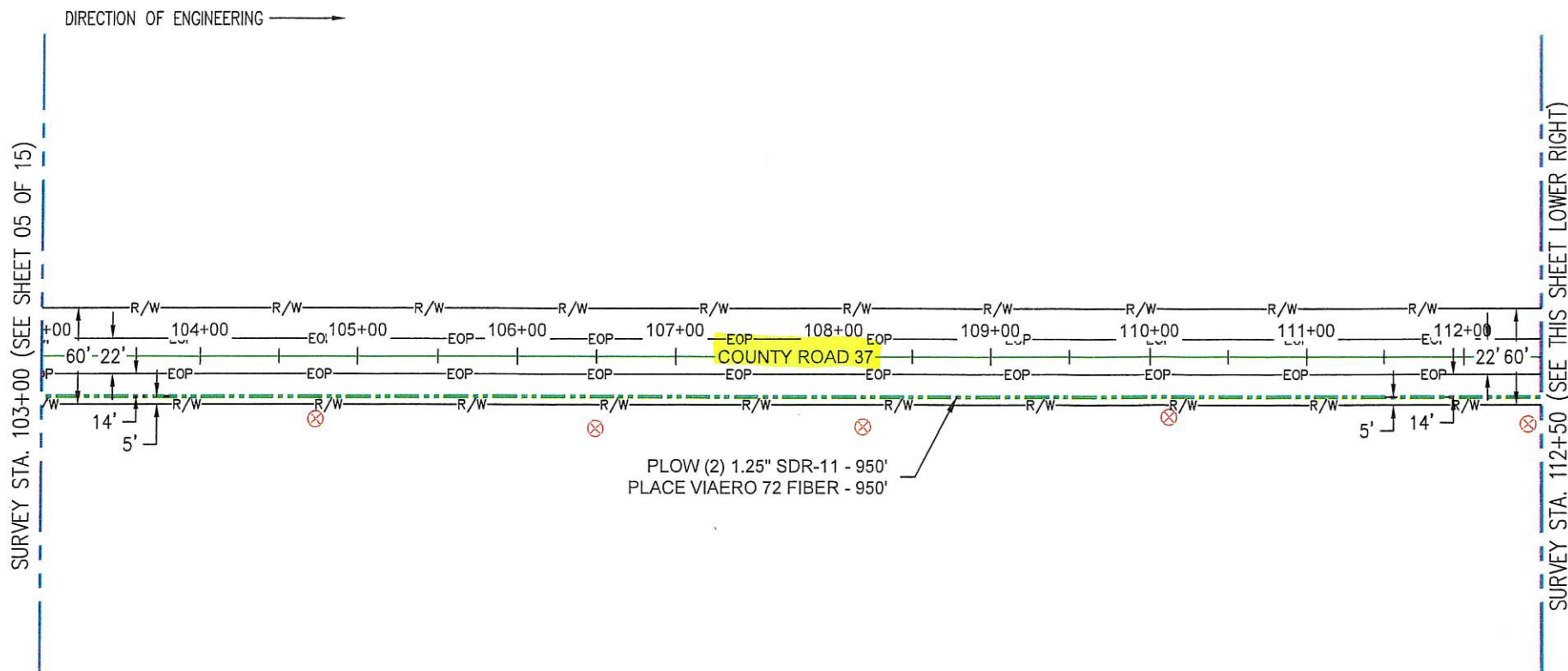
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DATE REVISED:	---
DATE PLOTTED:	6/20/2024
DRAWN BY:	ANTONIO MATA
CHECKED BY:	JEFF RICHER
APPROVED BY:	_____
COMPANY:	VIAERO FIBER NETWORKS, LLC
SITE ADDRESS:	PADRONI, CO TO STERLING RESERVOIR LOGAN COUNTY
FILE NAME:	North Sterling Reservoir State Park Visitor Center County.dwg
DESCRIPTION:	CONSTRUCTION PLANS PROJECT SHEET
MAP:	05 OF 15

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2400'	
FT	VIAERO 72 FIBER	2470'	
EA	VIAERO 24"X36"X24"720K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	300'	
FT	PLOW (2) 1.25" SDR-11	2100'	
FT	PLACE VIAERO 72 FIBER	2470'	
EA	PLACE VIAERO 24"X36"X24"720K HH	1	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling





- LEGEND**
- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - GAS METER
 - ELECTRIC METER
 - UTILITY VALVE
 - UTILITY POLE
 - UTILITY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING STREET LIGHT
 - EXISTING UTILITY HANDHOLE
 - ELECTRICAL/UTILITY CABINET
 - TELEPHONE PED - CROSS BOX
 - PROPOSED VIAERO MANHOLE
 - PROPOSED VIAERO HANDHOLE
 - STORM INLET
 - STORM GRATE
 - CULVERT
 - TREE
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 - EXISTING WELL
 - EXISTING LANDSCAPE AREA
 - EXISTING POLE CELL TOWER
 - EXISTING RR CROSSING ARM
- LINETYPES**
- CONDUIT-NOT IN CONTRACT
 - CONDUIT-PLOW
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 - RIGHT-OF-WAY
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - EDGE OF SIDEWALK
 - WIRE FENCE-EXISTING
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 - GUARD RAIL-EXISTING
 - RAILROAD-EXISTING
 - GAS-EXISTING
 - UNDERGROUND ELECTRIC-EXISTING
 - OVERHEAD ELECTRIC-EXISTING
 - BURIED FIBER-EXISTING
 - TELEPHONE-EXISTING
 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STREAM
 - WATER-EXISTING
 - BUILDING-EXISTING

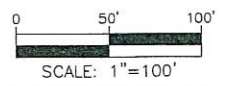


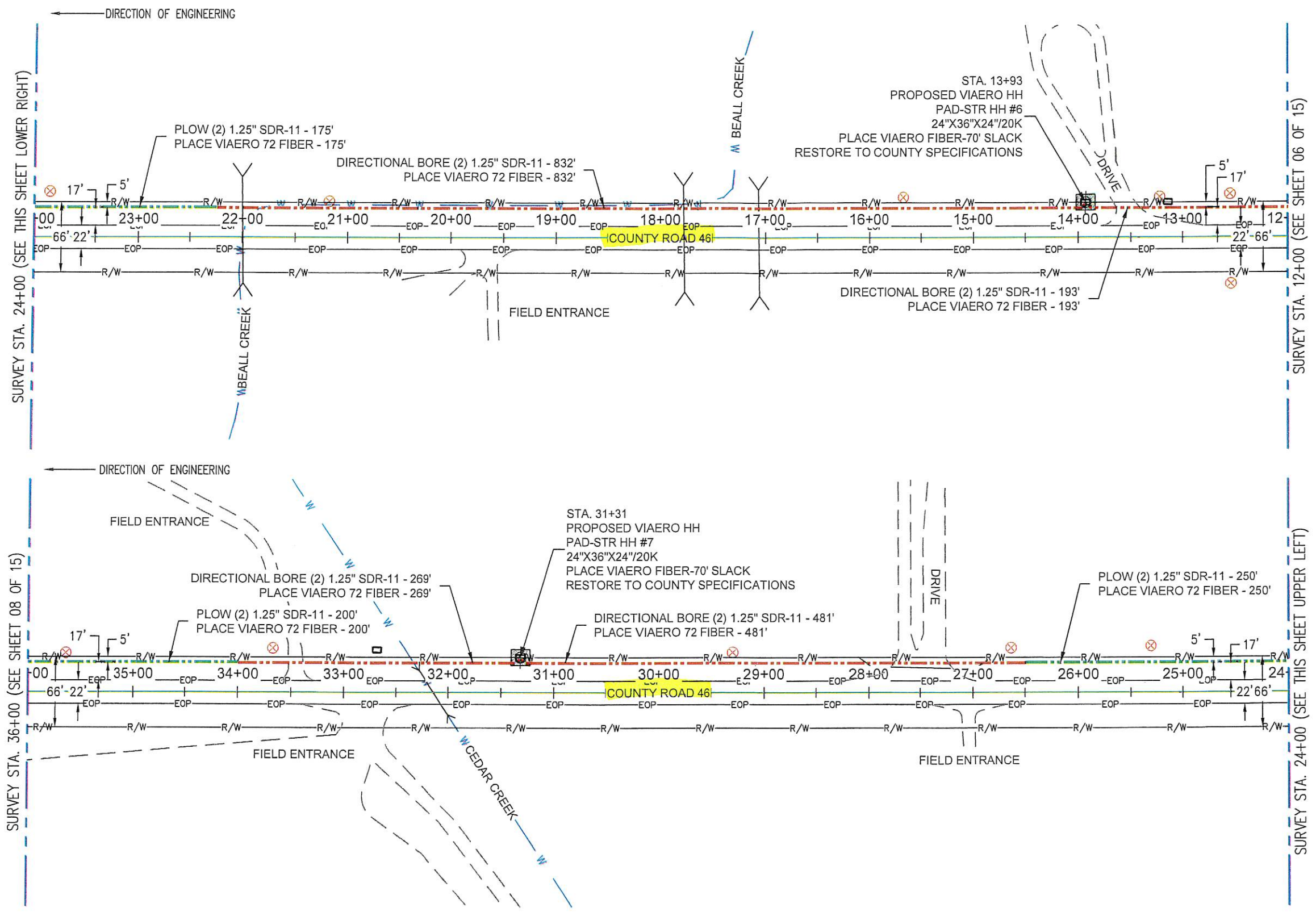
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FILE NAME:	North Sterling Reservoir State Park Visitor Center County.dwg
DESCRIPTION:	CONSTRUCTION PLANS PROJECT SHEET
MAP:	06 OF 15

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2180'	
FT	VIAERO 72 FIBER	2250'	
EA	VIAERO 24"X36"X24"/20K HH	1	

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	TRENCH (2) 1.25" SDR-11	84'	
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	175'	
FT	PLOW (2) 1.25" SDR-11	1921'	
FT	PLACE VIAERO 72 FIBER	2250'	
EA	PLACE VIAERO 24"X36"X24"/20K HH	1	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling





SURVEY STA. 24+00 (SEE THIS SHEET LOWER RIGHT)

SURVEY STA. 36+00 (SEE SHEET 08 OF 15)

SURVEY STA. 12+00 (SEE SHEET 06 OF 15)

SURVEY STA. 24+00 (SEE THIS SHEET UPPER LEFT)

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
- UTILITY POLE
- UTILITY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STREET LIGHT
- EXISTING UTILITY HANDHOLE
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- TELEPHONE PED - CROSS BOX
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- PROPOSED VIAERO HANDHOLE
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- STORM GRATE
- CULVERT
- TREE
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- EXISTING POLE CELL TOWER
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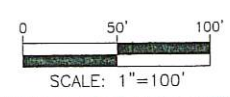
LINETYPES

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- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
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- WOOD FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- OVERHEAD ELECTRIC-EXISTING
- BURIED FIBER-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING

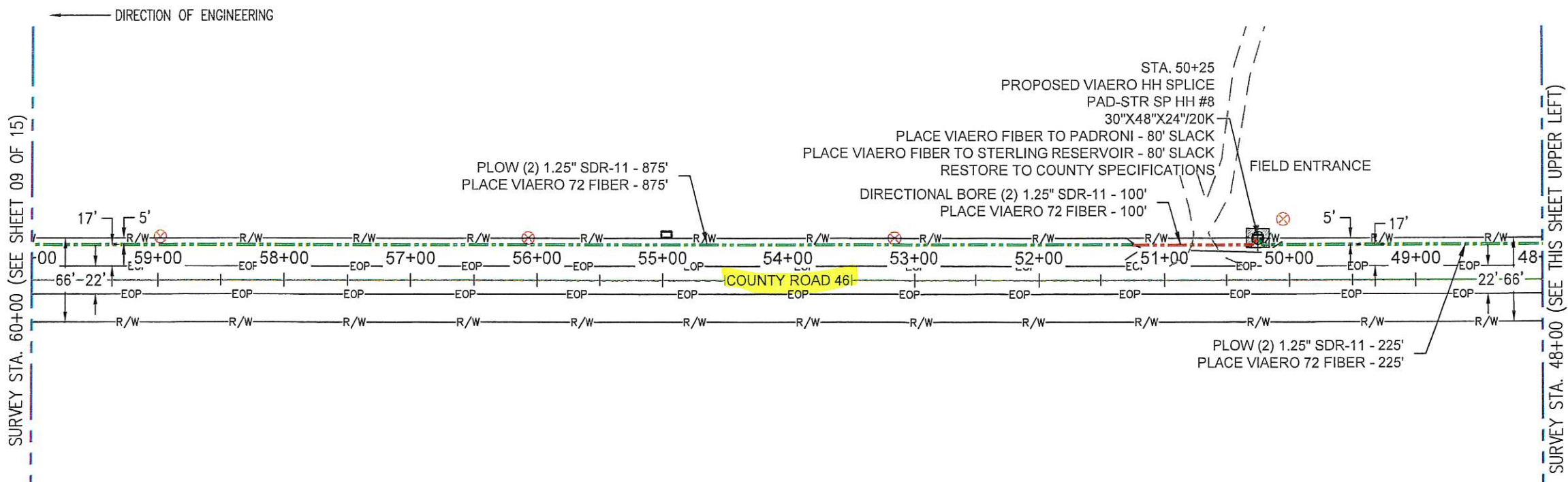
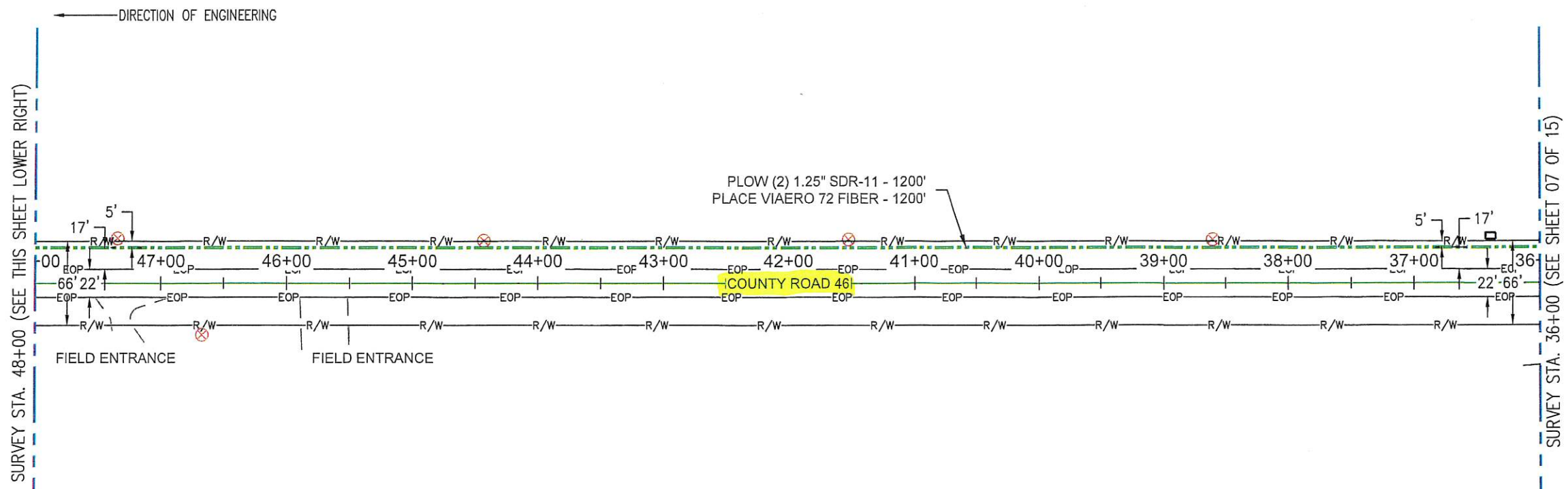
MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2400'	
FT	VIAERO 72 FIBER	2540'	
EA	VIAERO 24"X36"X24"/20K HH		2

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	1775'	
FT	PLOW (2) 1.25" SDR-11	625'	
FT	PLACE VIAERO 72 FIBER	2540'	
EA	PLACE VIAERO 24"X36"X24"/20K HH		2

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling



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COMPANY:	VIAERO FIBER NETWORKS, LLC
SITE ADDRESS:	PADRONI, CO TO STERLING RESERVOIR LOGAN COUNTY
FILE NAME:	North Sterling Reservoir State Park Visitor Center County.dwg
DESCRIPTION:	CONSTRUCTION PLANS PROJECT SHEET
MAP:	07 OF 15



SURVEY STA. 60+00 (SEE SHEET 09 OF 15)

SURVEY STA. 48+00 (SEE THIS SHEET UPPER LEFT)

SURVEY STA. 48+00 (SEE THIS SHEET LOWER RIGHT)

SURVEY STA. 36+00 (SEE SHEET 07 OF 15)

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STREET LIGHT
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LINETYPES

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- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING



DATE CREATED: 5/8/2024
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 DRAWN BY: ANTONIO MATA
 CHECKED BY: JEFF RICHER
 APPROVED BY: _____
 COMPANY: VIAERO FIBER NETWORKS, LLC

SITE ADDRESS:
 PADRONI, CO TO STERLING RESERVOIR
 LOGAN COUNTY

FILE NAME:
 North Sterling Reservoir State Park
 Visitor Center County.dwg

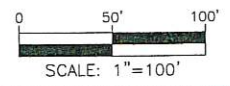
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 PROJECT SHEET

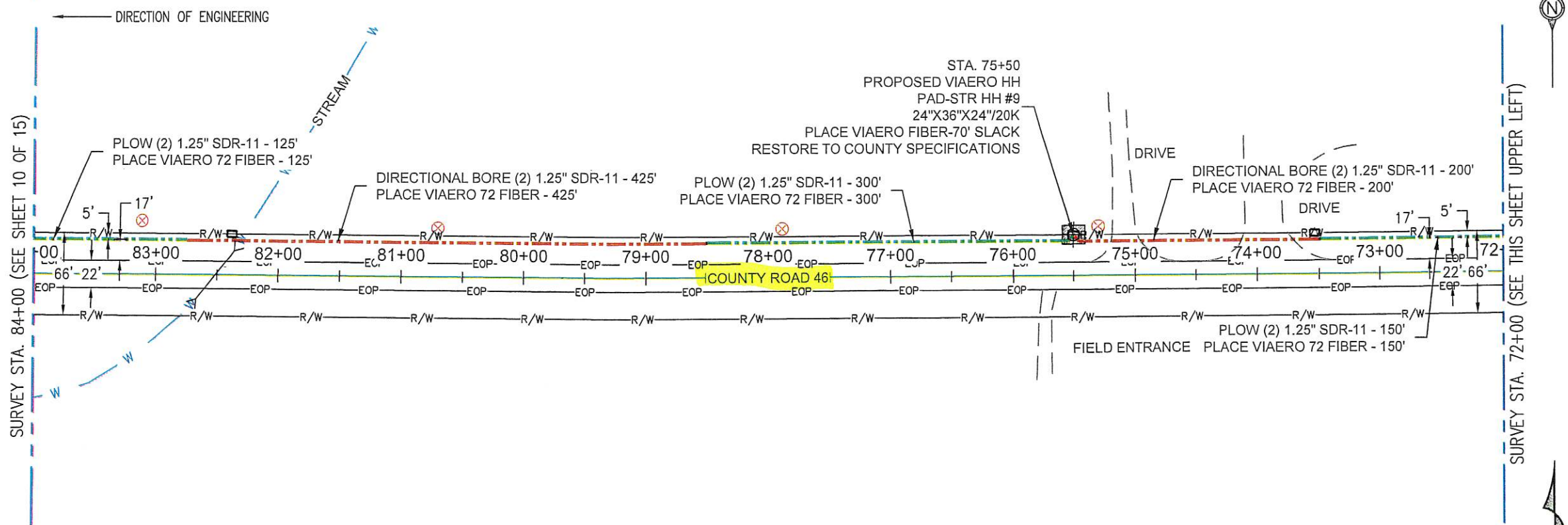
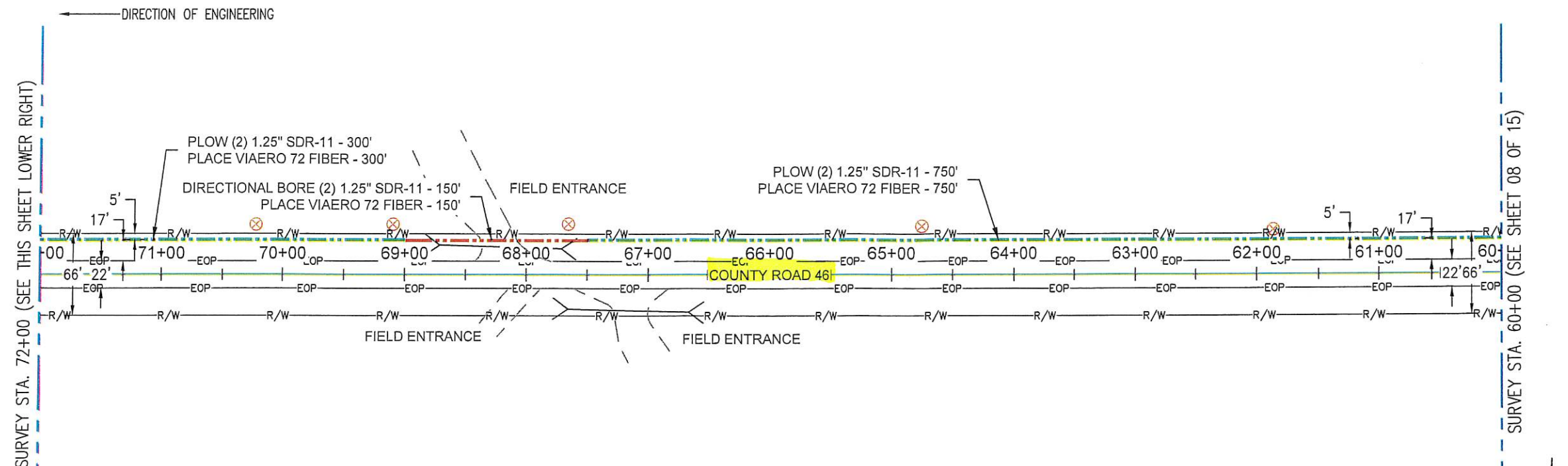
MAP: 08 OF 15

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2400'	
FT	VIAERO 72 FIBER	2560'	
EA	VIAERO 30"X48"X24"/20K SP HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	100'	
FT	PLOW (2) 1.25" SDR-11	2300'	
FT	PLACE VIAERO 72 FIBER	2560'	
EA	PLACE VIAERO 30"X48"X24"/20K SP HH	1	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling





SURVEY STA. 72+00 (SEE THIS SHEET LOWER RIGHT)

SURVEY STA. 84+00 (SEE SHEET 10 OF 15)

SURVEY STA. 60+00 (SEE SHEET 08 OF 15)

SURVEY STA. 72+00 (SEE THIS SHEET UPPER LEFT)

- LEGEND**
- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - GAS METER
 - ELECTRIC METER
 - UTILITY VALVE
 - UTILITY POLE
 - UTILITY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING STREET LIGHT
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- CONDUIT-NOT IN CONTRACT
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 - RIGHT-OF-WAY
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 - GAS-EXISTING
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 - TELEPHONE-EXISTING
 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STREAM
 - WATER-EXISTING
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DATE CREATED: 5/8/2024
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 DRAWN BY: ANTONIO MATA
 CHECKED BY: JEFF RICHER
 APPROVED BY: _____
 COMPANY: VIAERO FIBER NETWORKS, LLC

SITE ADDRESS:
 PADRONI, CO TO STERLING RESERVOIR
 LOGAN COUNTY

FILE NAME:
 North Sterling Reservoir State Park
 Visitor Center County.dwg

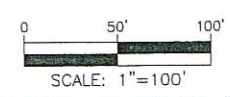
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 PROJECT SHEET

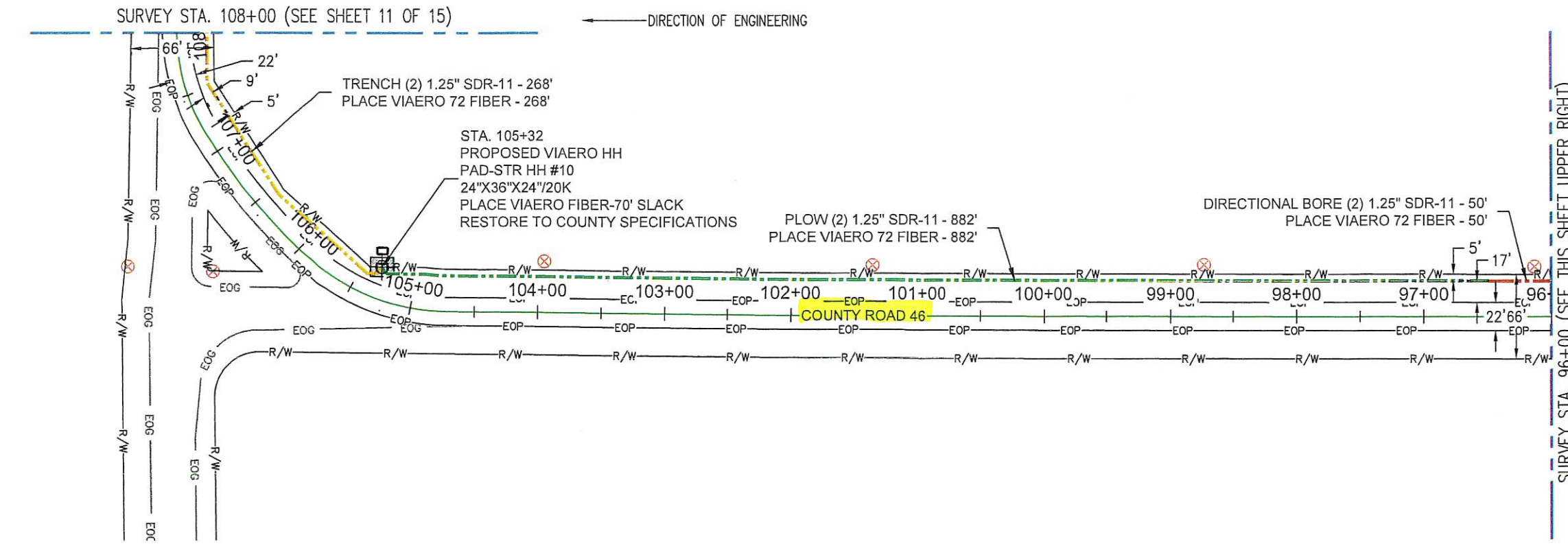
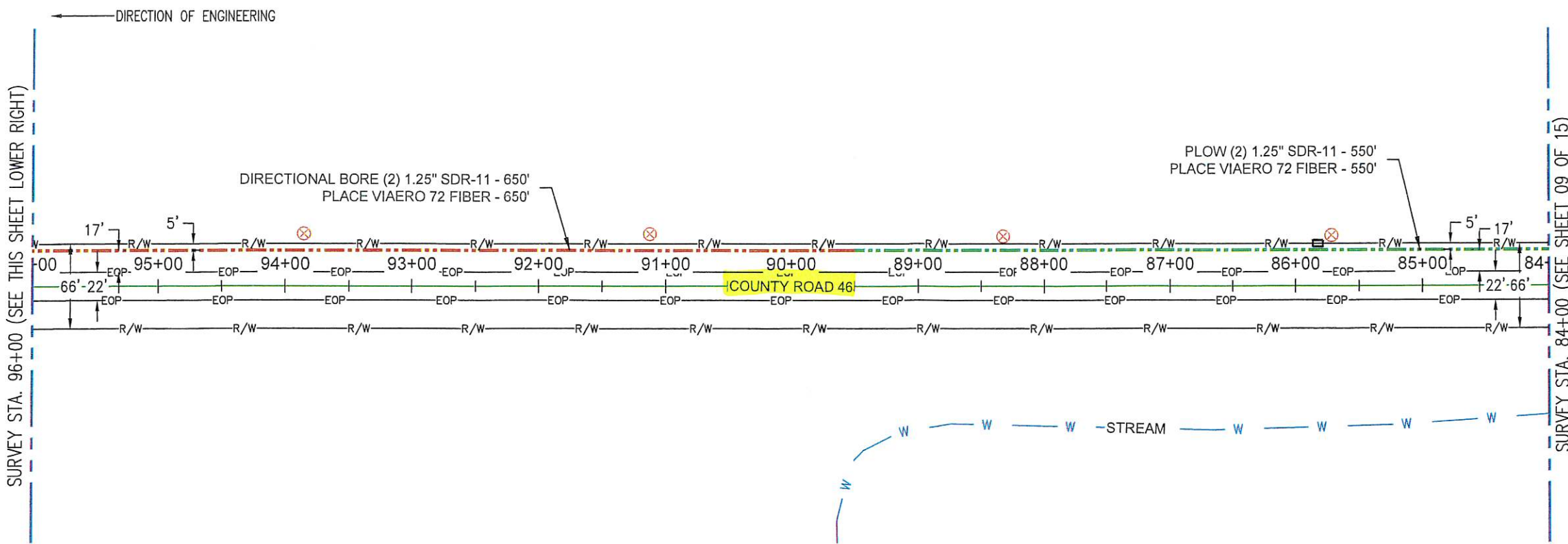
MAP: 09 OF 15

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2400'	
FT	VIAERO 72 FIBER	2470'	
EA	VIAERO 24"x36"x24"/20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	775'	
FT	PLOW (2) 1.25" SDR-11	1625'	
FT	PLACE VIAERO 72 FIBER	2470'	
EA	PLACE VIAERO 24"x36"x24"/20K HH	1	

Vaiero Fiber Network, LLC
 ROW2024-8 July 2024
 CR 33, 37, 46 Sterling





LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
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- UTILITY POLE
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LINETYPES

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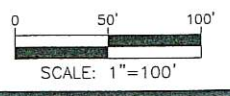


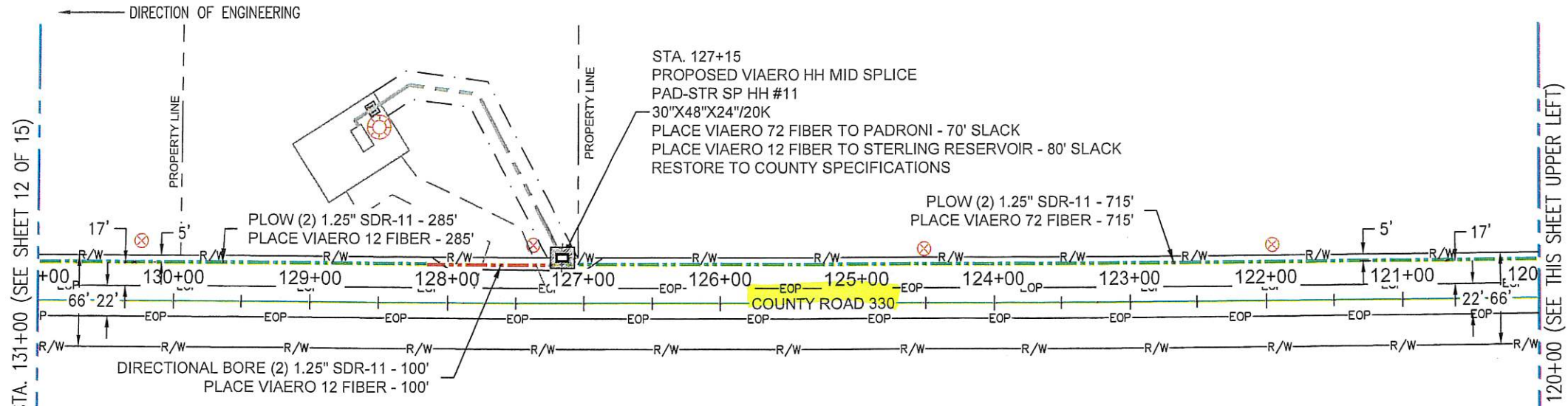
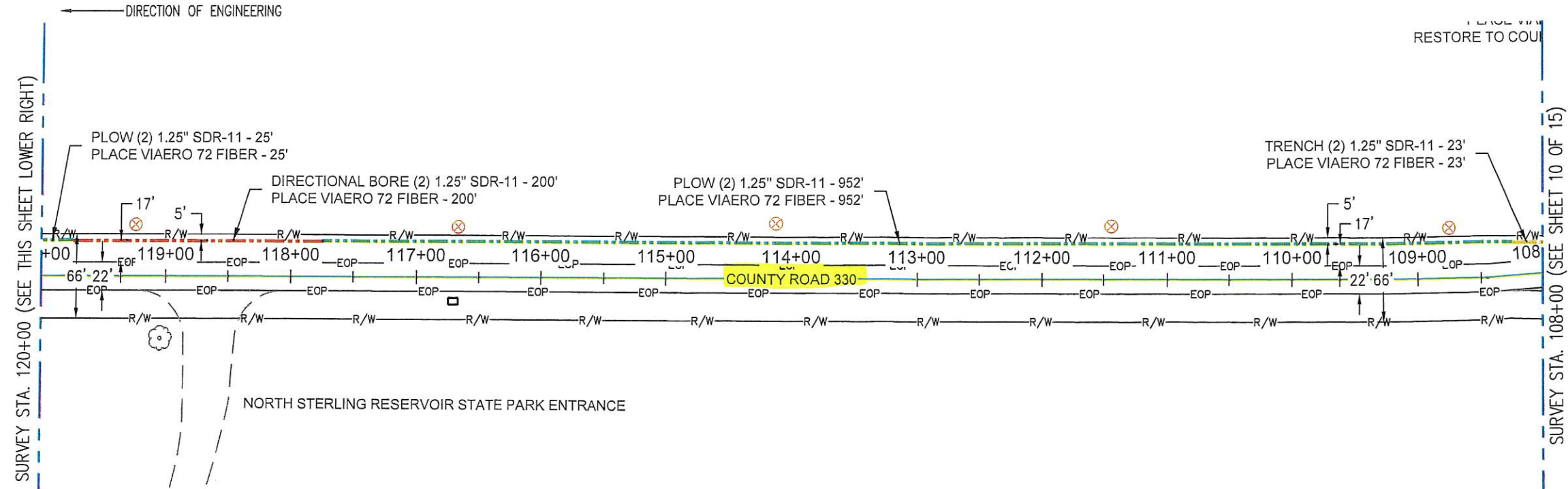
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MAP:	10 OF 15

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2400'	
FT	VIAERO 72 FIBER	2470'	
EA	VIAERO 24"X36"X24"/20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	TRENCH (2) 1.25" SDR-11	268'	
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	700'	
FT	PLOW (2) 1.25" SDR-11	1432'	
FT	PLACE VIAERO 72 FIBER	2470'	
EA	PLACE VIAERO 24"X36"X24"/20K HH	1	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling





SURVEY STA. 120+00 (SEE THIS SHEET LOWER RIGHT)

SURVEY STA. 131+00 (SEE SHEET 12 OF 15)

SURVEY STA. 108+00 (SEE SHEET 10 OF 15)

RESTORE TO COUNTY SPECIFICATIONS

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- GAS METER
- ELECTRIC METER
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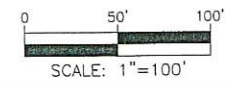
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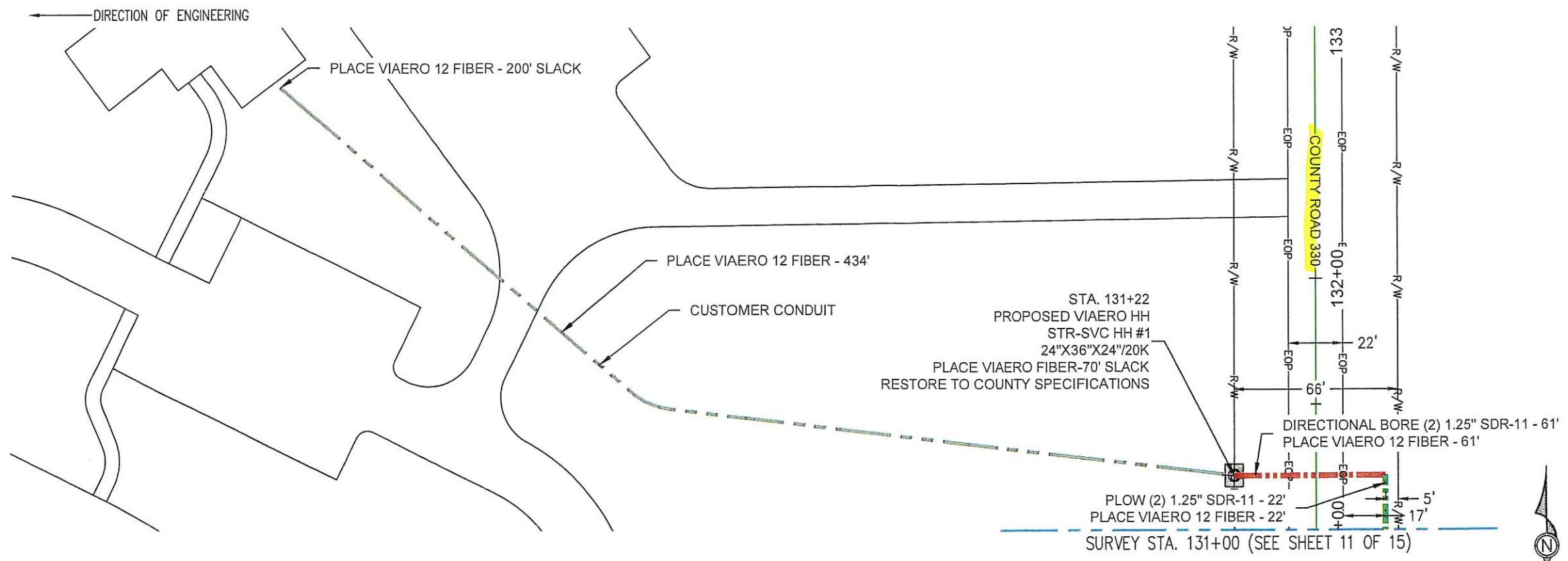
MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	2300'	
FT	VIAERO 72 FIBER	1985'	
FT	VIAERO 12 FIBER	465'	
EA	VIAERO 30"X48"X24"/20K SP HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	TRENCH (2) 1.25" SDR-11	23'	
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	300'	
FT	PLOW (2) 1.25" SDR-11	1977'	
FT	PLACE VIAERO 72 FIBER	2450'	
EA	PLACE VIAERO 30"X48"X24"/20K SP HH	1	

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MAP:	11 OF 15



LEGEND

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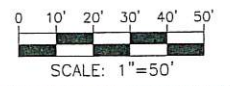
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- UNDERGROUND ELECTRIC-EXISTING
- OVERHEAD ELECTRIC-EXISTING
- BURIED FIBER-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STREAM
- WATER-EXISTING
- BUILDING-EXISTING

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (2) 1.25" SDR-11	83'	
FT	VIAERO 12 FIBER	787'	
EA	VIAERO 24"X36"X24"/20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (2) 1.25" SDR-11	61'	
FT	PLOW (2) 1.25" SDR-11	22'	
FT	PLACE VIAERO 12 FIBER	787'	
EA	PLACE VIAERO 24"X36"X24"/20K HH	1	

Vaiero Fiber Network, LLC
ROW2024-8 July 2024
CR 33, 37, 46 Sterling



DATE CREATED: 5/8/2024
 DATE REVISED: ---
 DATE PLOTTED: 6/20/2024
 DRAWN BY: ANTONIO MATA
 CHECKED BY: JEFF RICHER
 APPROVED BY: _____
 COMPANY: VIAERO FIBER NETWORKS, LLC
 SITE ADDRESS: PADRONI, CO TO STERLING RESERVOIR LOGAN COUNTY
 FILE NAME: North Sterling Reservoir State Park Visitor Center County.dwg
 DESCRIPTION: CONSTRUCTION PLANS PROJECT SHEET
 MAP: 12 OF 15