



AGENDA
Logan County Board of Commissioners
Logan County Courthouse, 315 Main Street, Sterling, Colorado
Tuesday, July 5, 2022 - 9:30 a.m.

Call to Order
Pledge of Allegiance
Revisions to Agenda
Consent Agenda

Approval of the Minutes of the July 5, 2022 meeting.

Acknowledge the receipt of the Veteran's Service Officer's Monthly Report and Certification of Pay form for the month of June 2022.

Unfinished Business
New Business

The Board will open a public hearing to consider the approval of an application submitted by the Knights of Sterling for a Special Events Liquor License for the Logan County Fair to be held at the Logan County Fairgrounds, Sterling, Colorado on August 2, 3, 4, 5, 6 and 7, 2022.

Consideration of the approval of Resolution 2022-25 amending Resolution 2021-41 by awarding Private Activity Bond Volume Cap for the Northeast Plaza Apartment Homes Project.

Consideration of the approval of the award of the Ticket Takers and Usher Services Bid for the 2022 Logan County Fair & Rodeo to the Caliche After Prom Committee and Basketball sponsors in the amount of \$5,000.00.

Consideration of the approval of Resolution 2022-26 and an application on behalf of Bohler Real Estate, LLC to vacate the plat for Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park.

Consideration of the approval of Resolution 2022-27 and an application on behalf of Bohler Real Estate, LLC for Re-subdivision and Replat of Lots 1 and 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, a part of the E1/2NE1/4 of Section 34, Township 8 North, Range 53 West of the 6" P.M., Logan County, Colorado.

Consideration of the approval of an agreement between Logan County and Viaero Fiber Networks, LLC and issuance of Right of Way Permit #2022-6 for use of the County Right of Way along County Road 50, and East side of County Road 37 for conduit, hand holes and fiber optic cable.

Consideration of the approval of an agreement between Logan County and Viaero Fiber Networks, LLC and issuance of Right of Way Permit #2022-7 for use of the County Right of Way along West Side of County Road 43, Railroad Avenue McKinley Street in Padroni, Colorado for conduit, hand holes and fiber optic cable.

Consideration of the approval of a Letter of Gift and Bill of Sale for the donation of 280 linear feet of 6' chain link fence to Northeastern Junior College.

Other Business
Miscellaneous Business/Announcements

The next meeting will be scheduled for Tuesday, July 19, 2022, at 9:30 a.m. at the Logan County Courthouse.

Executive Session as Needed
Adjournment

June 21, 2022

The Logan County Board of Commissioners met in regular session with the following members present constituting a quorum of the members thereof:

Byron H. Pelton	Chairman
Jane E. Bauder	Commissioner
Joseph A. McBride	Commissioner

Also present:

Alan Samber	Logan County Attorney
Pamela Bacon	Logan County Clerk & Recorder-Absent
Debbie Unrein	Logan County Finance
Marilee Johnson	Logan County Public Information Officer
Dave Long	Human Services
Jennifer Crow	Administrative Support Specialist
Dave Conley	Lodging Tax Board

Chairman Pelton called the meeting to order at 9:31 a.m. and opened the meeting with the Pledge of Allegiance.

Chairman Pelton asked if there were any revisions for the agenda. Hearing none, Chairman Pelton continued with consent agenda.

The Board continued with the Consent Agenda items:

- Approval of the Minutes of the June 7, 2022, meeting.
- Acknowledge the receipt of the Treasurer's Report for the month of May 2022.
- Acknowledge the receipt of the Sheriff's Fee Report for the month of May 2022.
- Acknowledge the receipt of the Clerk and Recorder's Report for the month of May 2022.
- Acknowledge the receipt of the Landfill Supervisor's Report for the month of May 2022.

Commissioner Bauder moved to approve the Consent Agenda. Commissioner McBride seconded, and the motion carried 2-0 with Commissioner Pelton abstaining.

Chairman Pelton continued with Old Business:

The Board opened a public hearing to consider the approval of an application submitted by the Logan County Chamber of Commerce for a Special Events Liquor License for events to be held at the Logan County Courthouse Square, 315 Main Street, Sterling, Colorado on July 1,2,8,15,22,29, 2022.

Hearing no public comment Chairman Pelton closed the public hearing.

Commissioner McBride moved to approve the application submitted by the Logan County Chamber of Commerce for a Special Events Liquor License for events to be held at the Logan County Courthouse Square, 315 Main Street, Sterling, Colorado on July 1,2,8,15,22,29, 2022. Commissioner Bauder seconded, and the motion carried 3-0.

Commissioner Bauder moved to approve the proposal for the EC Community Center Building Addition Phase I Design Services to provide architectural/design services for a building addition to the existing Exhibit Center located at the County fairgrounds to Cairn Design LLC in the amount of \$74,055.00. Commissioner McBride seconded, and the motion carried 3-0.

Chairman Pelton continued with New Business:

Commissioner McBride moved to approve the Logan County Lodging Tax Board project on behalf of Sugar Beet Days in the amount of \$2,500 for advertising. Commissioner Bauder seconded, and the motion carried 3-0.

Commissioner Bauder moved to approve a Memorandum of Understanding between Logan County and The Colorado Department of Human Services regarding the County's duties and responsibilities in implementing the Colorado Works Program in Logan County and authorize the Chairman to sign. Commissioner McBride seconded, and the motion carried 3-0.

Other Business

County offices will be closed on Monday, July 4, 2022, in Observance of Independence Day.

The next meeting will be scheduled for Tuesday, July 5, 2022, at 9:30 a.m. at the Logan County Courthouse.

There being no further business to come before the Board, the meeting adjourned at 9:53 a.m.

Submitted by:



Logan County Clerk

Approved: July 5, 2022

BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO

(seal)

By: _____
Byron Pelton, Chairman

Attest:

Logan County Clerk & Recorder



Colorado Department of Military and Veterans Affairs
County Veterans Service Officers Monthly Report and Certification of Pay

County of Logan Month of June 2022

Telephone Calls	<u>from vets: 101</u> <u>to vets: 98 concerning vets: 27</u>	<u>Total calls => 226</u>
Appointments	<u>office: 52</u> <u>home: 10</u>	<u>Total visits => 62</u>
Outreach		
Total Served		<u>Total Served => 288</u>

Surveys Submitted	<u>07</u>	<u>Total surveys => 07</u>
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Certification by County Veterans Service Officer

I hereby certify that the above monthly report is true and accurate to the best of my knowledge and belief. I have been employed as a county veteran service officer at a rate of:

- ☒ 34 hours per week or fewer
☐ 35 hours per week or more

For the month of June, 2022 from Logan county.

[Signature]
Signature of County Veterans Service Officer

06/30/2022
Date

Certifications by County Commissioner or Designee

- ☒ In accordance with CRS 28-5-802, I hereby certify the appointment of our county veterans service officer.
☒ In accordance with CRS 28-5-707, I hereby certify the accuracy of the Report CVA-26 revised September 2021.

County Commissioner or Designee of

County

Date

This certification, submitted monthly, properly signed and executed is considered as application for the monetary benefits to the County General Fund in accordance with 28-5-804 (2002) Colorado Revised State Statute.

Submit this form no later than the 15th day the following month to:

Colorado Division of Veterans Affairs
cdvainfo@dmva.state.co.us

(Instructions on Reverse Side)

APPLICATION FOR A SPECIAL EVENTS PERMIT

Department Use Only

IN ORDER TO QUALIFY FOR A SPECIAL EVENTS PERMIT, YOU MUST BE NONPROFIT
AND ONE OF THE FOLLOWING (See back for details.)

- | | | |
|---|--|--|
| <input type="checkbox"/> SOCIAL | <input type="checkbox"/> ATHLETIC | <input type="checkbox"/> PHILANTHROPIC INSTITUTION |
| <input checked="" type="checkbox"/> FRATERNAL | <input type="checkbox"/> CHARTERED BRANCH, LODGE OR CHAPTER | <input type="checkbox"/> POLITICAL CANDIDATE |
| <input type="checkbox"/> PATRIOTIC | <input type="checkbox"/> OF A NATIONAL ORGANIZATION OR SOCIETY | <input type="checkbox"/> MUNICIPALITY OWNING ARTS FACILITIES |
| <input type="checkbox"/> POLITICAL | <input type="checkbox"/> RELIGIOUS INSTITUTION | |

LIAB TYPE OF SPECIAL EVENT APPLICANT IS APPLYING FOR:
2110 ☒ MALT, VINOUS AND SPIRITUOUS LIQUOR \$25.00 PER DAY
2170 ☐ FERMENTED MALT BEVERAGE (3.2 Beer) \$10.00 PER DAY

DO NOT WRITE IN THIS SPACE

LIQUOR PERMIT NUMBER

1. NAME OF APPLICANT ORGANIZATION OR POLITICAL CANDIDATE <i>Knights Home of Sterling Sterling, CO 80751</i>		State Sales Tax Number (Required) <i>98-02773</i>	
2. MAILING ADDRESS OF ORGANIZATION OR POLITICAL CANDIDATE (include street, city/town and ZIP) <i>421 S. 11th Ave Sterling, CO 80751</i>		3. ADDRESS OF PLACE TO HAVE SPECIAL EVENT (include street, city/town and ZIP) <i>Logan County Fair Grounds 1120 Pawnee Ave. Sterling, CO 80751</i>	
NAME	DATE OF BIRTH	HOME ADDRESS (Street, City, State, ZIP)	PHONE NUMBER
4. PRES./SECY OF ORG. or POLITICAL CANDIDATE <i>Dennis Boren</i>	<i>10-24-54</i>	<i>14408 GREENWAY DR. Sterling, CO 80751</i>	<i>970-522-5418</i>
5. EVENT MANAGER <i>Don Masini</i>	<i>2-25-45</i>	<i>14727 Rebecca DR Sterling, CO 80751</i>	<i>970-522-6467</i>
6. HAS APPLICANT ORGANIZATION OR POLITICAL CANDIDATE BEEN ISSUED A SPECIAL EVENT PERMIT THIS CALENDAR YEAR? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES HOW MANY DAYS? _____		7. IS PREMISES NOW LICENSED UNDER STATE LIQUOR OR BEER CODE? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES TO WHOM? _____	

8. DOES THE APPLICANT HAVE POSSESSION OR WRITTEN PERMISSION FOR THE USE OF THE PREMISES TO BE LICENSED? ☐ Yes ☐ No

LIST BELOW THE EXACT DATE(S) FOR WHICH APPLICATION IS BEING MADE FOR PERMIT

Date	Date	Date	Date	Date
8-7-22				
Hours From 4:00P.m.	Hours From .m.	Hours From .m.	Hours From .m.	Hours From .m.
To 12:00A.m.	To .m.	To .m.	To .m.	To .m.

OATH OF APPLICANT

I declare under penalty of perjury in the second degree that I have read the foregoing application and all attachments thereto, and that all information therein is true, correct, and complete to the best of my knowledge.

SIGNATURE <i>Don Masini</i>	TITLE <i>Event Manager</i>	DATE <i>6-15-22</i>
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REPORT AND APPROVAL OF LOCAL LICENSING AUTHORITY (CITY OR COUNTY)

The foregoing application has been examined and the premises, business conducted and character of the applicant is satisfactory, and we do report that such permit, if granted, will comply with the provisions of Title 12, Article 48, C.R.S., as amended.

THEREFORE, THIS APPLICATION IS APPROVED.

LOCAL LICENSING AUTHORITY (CITY OR COUNTY) <i>Logan County</i>	<input type="checkbox"/> CITY <input checked="" type="checkbox"/> COUNTY	TELEPHONE NUMBER OF CITY/COUNTY CLERK <i>970-522-0888</i>
SIGNATURE	TITLE	DATE

DO NOT WRITE IN THIS SPACE - FOR DEPARTMENT OF REVENUE USE ONLY

LIABILITY INFORMATION

License Account Number	Liability Date	State	TOTAL
		-750 (999)	\$

(Instructions on Reverse Side)



Logan County Fairgrounds

Alcohol Permit area Highlighted in Yellow

Beer
Sales

Beer
Sales

Beer
Garden

RESOLUTION

NO. 2022-25

A RESOLUTION OF LOGAN COUNTY, COLORADO AMENDING RESOLUTION NO. 21-41 BY AWARDING PRIVATE ACTIVITY BOND VOLUME CAP FOR THE NORTHEAST PLAZA APARTMENT HOMES PROJECT

BOARD OF COUNTY COMMISSIONERS COUNTY OF LOGAN, STATE OF COLORADO

WHEREAS, Logan County, Colorado (the "County"), is a legally and regularly created, established, organized and existing body politic and corporate of the State of Colorado (the "State"); and

WHEREAS, the County is authorized by the County and Municipality Development Revenue Bond Act, constituting Article 3, Title 29, Colorado Revised Statutes, as amended (the "Act") and the Colorado Supplemental Public Securities Act, constituting Article 57, Title 11, Section 201 et seq., Colorado Revised Statutes, as amended (the "Supplemental Public Securities Act"), to finance and refinance one or more projects (which includes any land, building or other improvement and real and personal properties) to the end that residential facilities for low- and middle-income persons or families may be provided which promote the public health, welfare, safety, convenience and prosperity; and

WHEREAS, the County is further authorized by the Act and the Supplemental Public Securities Act to issue revenue bonds for the purpose of defraying the cost of financing any project, including the payment of principal and interest on such revenue bonds for not exceeding three years, the funding of any reserve funds which the County may deem advisable to establish in connection with the retirement of such revenue bonds or the maintenance of the project and all incidental expenses incurred in issuing such revenue bonds, and to secure payment of such revenue bonds as provided in the Act; and

WHEREAS, the Board of County Commissioners of the County (the "Board") previously adopted Resolution No. 21-41 (the "Initial Resolution") declaring the intent of the Board to authorize the issuance of its multifamily housing revenue bonds, in one or more series (the "Bonds"), in an aggregate principal amount not to exceed \$3,500,000, to finance the acquisition, rehabilitation, construction, improvement and equipping of the Northeast Plaza Apartment Homes Project (or such other name as the Developer may elect for this property, the "Project"), an affordable multifamily housing facility, consisting of approximately 47 units containing complete residential facilities, and the Project will be owned and operated by FishPond Living at Sterling, LP, including any subsidiaries, affiliates, successors or assigns (but only if such subsidiaries, affiliates, successors or assigns are acceptable to the County) (the "Developer"); and

WHEREAS, in the Initial Resolution, the County agreed to apply for private activity bond volume cap allocation from the Colorado Department of Local Affairs for the Project; and

WHEREAS, the County has \$1,183,380 of 2022 private activity bond volume cap allocation that was directly allocated to the County and an award of \$1,214,420 of 2021 private activity bond cap allocation Statewide Balance from the Department of Local Affairs; and

WHEREAS, the Board desires to award private activity bond volume cap allocation to the Project;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS OF LOGAN COUNTY, COLORADO, THAT:

Section 1. The Board hereby awards the Project up to \$2,397,800 of its private activity bond volume cap allocation. The Developer and the Board will use their best effort to obtain private activity bond volume cap allocation in the amount of \$1,102,200; and, upon the County receiving such private activity bond volume cap allocation, the Board will award the Project up

to \$1,102,200 of its private activity volume cap allocation, for a total private activity volume cap allocation of \$3,500,000.

Section 2. All actions not inconsistent with the provisions of this Resolution heretofore taken by the Board or any officer or employee of the County in furtherance of the issuance of the Bonds are hereby ratified, approved and confirmed.

Section 3. All prior acts, orders, resolutions, ordinances or parts thereof of the County in conflict with this Resolution are hereby repealed, except that this repealer shall not be construed to revive an act, order, resolution, ordinance, or part thereof, heretofore repealed.

Section 4. If any section, paragraph, clause or provision of this Resolution shall be adjudged to be invalid or unenforceable, the invalidity or unenforceability of such section, paragraph, clause or provision shall not affect any of the remaining sections, paragraphs, clauses or provisions of this Resolution.

All bylaws, orders, resolutions, ordinances, or parts thereof, inconsistent herewith are hereby repealed to the extent only of such inconsistency, and if so repealed, no other bylaw, order, resolution, ordinance, or part thereof, shall be revived. This repealer shall not be construed as reviving any bylaw, order, resolution or ordinance, or part thereof.

INTRODUCED AND ADOPTED at a regular meeting of the Board of County Commissioners of the County on July 5, 2022.

BOARD OF COUNTY COMMISSIONERS
OF LOGAN COUNTY, COLORADO

Byron H. Pelton, Chairman

Joseph A. McBride

Jane E. Bauder

ATTEST:

I, Pamela M. Bacon, County Clerk and Recorder in and for the County of Logan, State of Colorado, hereby attest that the foregoing resolution was duly adopted by the Board of County Commissioners of Logan County, sitting in regular session, this 5th day of July, 2022.

Pamela M. Bacon
Logan County Clerk and Recorder

Fair Manager, Guy McEndaffer
mandmfarms@aol.com



Fair Administrative Assistant, Faith Blankenship
blankenshipf@logancountyco.gov

315 Main Street | Sterling, CO 80751

970-522-0888 Ext 222

July 5, 2022

Caliche After Prom Committee and Basketball
Attn: Kristy Willis and Dave Huss
26308 Buffalo Blvd
Iliff, CO 80736

Dear Ms. Willis and Mr. Huss,

We are pleased to announce that the Board of County Commissioners has awarded the Ticket Takers & Usher Services bid for the 2022 Logan County Fair & Rodeo to the Caliche After Prom and Basketball for the bid price of \$5,000.00.

Please note we have made a change to the age requirement for Ticket Takers & Ushers-instead of 18 years of age or older we have listed the individuals can be 16 years old or older. Please complete the following sign-up sheet before July 15, 2022.

The County is requiring the Americans with Disability Act (ADA) training for those working our events and it is mandatory. Currently we have two days scheduled for July 18, 2022, and July 21, 2022, at 6 p.m. Each person working the event will need to sign a "County Volunteer Notification and Waiver of Liability".

Thank you for your bid and we look forward to working with you. If you have any questions, please feel free to contact Faith Blankenship at 970-522-0888 X 222, or Guy McEndaffer, Fair Manager at 970-520-1180.

Sincerely,

BOARD OF COMMISSIONERS
LOGAN COUNTY, COLORADO

Byron Pelton, Chairman

Joe McBride, County Commissioner

Jane Bauder, County Commissioner

Fair Manager, Guy McEndaffer
MandMFarms@aol.com



Fair Administrative Assistant, Faith Blankenship
BlankenshipF@logancountyco.gov

315 Main Street | Sterling, CO 80751

970-522-0888 ext 222

2022 Ticket Takers & Usher Services

This page must accompany proposal.

Please initial each item that you have read and understood.

DA KW The services provided will include taking tickets at the gate, ushering ticket holders to the seats noted on the ticket stub, assisting with handicapped seating and other duties that may be deemed necessary by the Fair Board – Event Seating Chairperson. This proposal will include the grandstand gates, cowboy drive thru gate, and the cowboy walk through gate.

DA KW All persons will be ~~18 years of age or older.~~ 16 years of age or older.

DA KW Each will provide a flashlight for their use, and will be prepared for wet weather and able to work with the public.

DA KW Be there at allotted times prior to event (shown below in table).

DA KW Stay until one half hour (30 minutes) after the end of the event.

DA KW Proposer shall provide no fewer than the number of people noted (shown below in table).

DA KW Proposer will appoint one member of the organization to perform continual supervision for group members and who will serve as liaison between workers performing services and County officials. Ticket takers and ushers will work in close cooperation with the Fair Board – Event Seating Chairperson. Supervisor, ticket takers and ushers will not be employees of Logan County.

DA KW By **July 1**, the supervisor for the group will complete and provide a copy of the signup sheet to the Fair Coordinator, Sign up Sheet and guidelines will be provided to Proposer upon acceptance of proposal.

DA KW Upon a successful proposal, applicants will meet with the Fair Board – Event Seating Chairperson to clarify the details of the contract.

DA KW If agreement is not fulfilled, payment will be withheld.

Event	Date of Event	# of Ticket Takers	# of Ushers	Time of Event	Time to be there
Bull Riding	Tuesday, Aug 2	16	4	7 p.m.	5:30 p.m.
Thursday Rodeo	Thursday, Aug 4	13	4	7 p.m.	5:30 p.m.
Friday Rodeo	Friday, Aug 5	13	4	7 p.m.	5:30 p.m.
Concert	Saturday, Aug 6	4 – Walk Thru Gate	0	6 p.m.	5:30 p.m.
Concert	Saturday, Aug 6	12	6	8 p.m.	6:30 p.m.
Demo Derby	Sunday, Aug 7	2 – Walk Thru Gate	0	3 p.m.	2:30 p.m.
Demo Derby	Sunday, Aug 7	16	6	5:30 p.m.	4 p.m.

Fair Manager, Guy McEndaffer
MandMFarms@aol.com



Fair Administrative Assistant, Faith Blankenship
BlankenshipF@logancountyco.gov

315 Main Street | Sterling, CO 80751

970-522-0888 ext 222

	Bull Riding Aug 2 @ 5:30 p.m. 20 People	Thursday Rodeo Aug 4 @ 5:30 p.m. 17 People	Friday Rodeo Aug 5 @ 5:30 p.m. 17 People	Concert Aug 6 @ 6:30 p.m. 22 People	Demo Derby Aug 7 @ 4 p.m. 22 People
Main Gate					
Main Gate					
Main Gate					
Main Gate					
Main Gate					
Main Gate					
Main Gate					
Usher					
Usher					
Usher					
Usher					
Usher					
Usher					
Walk Thru Gate				**	*
Walk Thru Gate				**	*
Rodeo Gate					
Rodeo Gate					
Rodeo Gate					
Rodeo Gate					
Rodeo Gate					
Rodeo Gate					
GS Inner South					
GS Inner South					
GS Inner South					
GS Inner South					
TOTAL	20	17	17	24	22

*Need 2 people at Walk Thru Gate at 3 p.m.

**Need 2 people at Walk Thru Gate at 5:30 p.m.

Submit your proposal to the Logan County Fair Board by **5 p.m. on April 8, 2022**. All proposals should be submitted in a sealed envelope and marked with "Ticket Takers & Usher Service". The Fair Board will be opening the Proposals on **April 14**, at the Fair Board meeting. Notification will be **April 19**, after the Commissioners have approved the proposal. Supporting paperwork should include name of organization, address, supervising agent, telephone number and proposed amount, and if required proof of insurance.

The Board of Commissioners reserve the right to reject any or all bids and to accept the proposal deemed to be in the best interest of Logan County.

$20 \times 5 = 100$ $17 \times 5 = 85$ $22 \times 5 = 110$
 $17 \times 5 = 85$ $24 \times 5 = 120$ $= 500 \text{ total hours}$

This proposal is submitted to the Commissioners of Logan County for the bid of \$ 5,000

Name of Organization Caliche High School - Afterprom and Basketball

Supervising Agent Kristy Willis - 970-520-2444

Dave Huss
Phone Number at Fair Time (cell phone)

Address 26308 Buffalo Blvd I Liff, CO 80736 970-522-8200
Phone Number

* IF each event averages 5 hours, total of 500 hours of labor needed.
 $500 \text{ hours} \times \$15 = \$7500$
 $500 \text{ hours} \times \$10 = \$5000$

**RESOLUTION
NO. 2022-26**

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF LOGAN, STATE OF COLORADO**

A Resolution approving the application of Bohler Real Estate, LLC to vacate the plat for Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, recorded at Book 945, Page 736, of the records of the Logan County Clerk and Recorder.

WHEREAS, Bohler Real Estate, LLC, current property owner, requests to vacate the plat for Horizon re-subdivision of Lot 1, Block 1, KMW Industrial Park, consisting of Lots 1 and 2, which was originally approved by resolution and plat recorded at Book 945, Page 736 of the records of the Logan County Clerk and Recorder and is located in a portion of Section 34, Township 8 North, Range 53 West of the Sixth Principal Meridian, Logan County, Colorado; and

WHEREAS, the vacation of the plat, currently consisting of Lots 1 and 2, is requested so that the applicant may adjust the lot lines between Lots 1 and 2, which will result in a Lot 1 containing 1.95 acres and Lot 2 containing 4.09 acres;

WHEREAS, Section 6.2.1 of the Logan County Subdivision Regulations provides that the owners of lots in any approved subdivision may petition the Planning Commission to vacate the plat with respect to their properties; and

WHEREAS, the Logan County Planning Commission approved the application to vacate the plat for Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, on May 17, 2022.

FINDINGS: The Board finds that the applicant is the legal owner of Lots 1 and 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, and further finds that vacation of Lots 1 and 2, as platted therein, will not materially injure the rights of any non-consenting property owner or any rights in public improvements.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Logan County, Colorado, that the application is GRANTED. The Plat for Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, which is recorded at Book 945, Page 736, of the records of the Logan County Clerk and Recorder, is hereby vacated.

Adopted and signed this 5th day of July, 2022.

**BOARD OF COUNTY COMMISSIONERS
OF LOGAN COUNTY, COLORADO**

(Aye)(Nay)
Byron H. Pelton, Chairman

(Aye)(Nay)
Joseph A. McBride, Commissioner

(Aye)(Nay)
Jane E. Bauder, Commissioner

I, Pamela M. Bacon, County Clerk and Recorder in and for the County of Logan, State of Colorado, do hereby certify that the foregoing Resolution was duly adopted by the Board of County Commissioners of the County of Logan and State of Colorado, in regular session on the 5th day of July, 2022.

County Clerk and Recorder

LOGAN COUNTY VACATION APPLICATION
BOARD OF COUNTY COMMISSIONERS
DEPARTMENT OF PLANNING & ZONING
315 MAIN STREET, STERLING, CO 80751
(970) 522-7879

Type of Vacation:

- ☐ Alley
- ☐ Platted Street
- ☐ County Road
- ☐ Subdivision Exemption
- ☐ Subdivision

Location of Vacation:

Legal: Quarter _____ Section 34 Township 8 Range 53

Lot _____ Block _____ Address _____

Description of Vacation:

re sub divide

Reason for Vacation:

NEW building on PART OF other land.

PETITION FOR VACATION

TO: THE BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO

Applicant: Bohler Real Estate Phone: 970-580-2653

Address: P.O. Box 986 Sterling CO 80751

Applicant's Signature: Mary Bohler Date: 4-25-2022

Landowner: Bohler Real Estate Phone: 970-522-2653

Address: Same

Landowner's Signature: Mary Bohler Date: 4-25-2022

Landowner: _____ Phone: _____

Address: _____

Landowner's Signature: _____ Date: _____

Landowner: _____ Phone: _____

Address: _____

Landowner's Signature: _____ Date: _____

Landowner: _____ Phone: _____

Address: _____

Landowner's Signature: _____ Date: _____

Landowner: _____ Phone: _____

Address: _____

Landowner's Signature: _____ Date: _____

Landowner: _____ Phone: _____

Address: _____

Landowner's Signature: _____ Date: _____

Landowner: _____ Phone: _____

FOR COUNTY USE

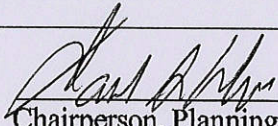
Application Fee: One Hundred Dollars (\$100.00)

Recording Fee: Thirteen Dollars (\$13.00)

Date of Planning Commission: _____

Recommendation of Planning Commission: ✓ Approval _____ Denial

Recommended Conditions of Vacation: _____


Chairperson, Planning Commission

COUNTY COMMISSIONERS ACTION:

Conditions of Vacation: _____

Date Granted: _____

Date Denied: _____

Byron H. Pelton (Aye) (Nay)

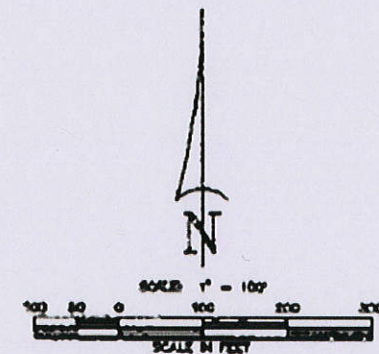
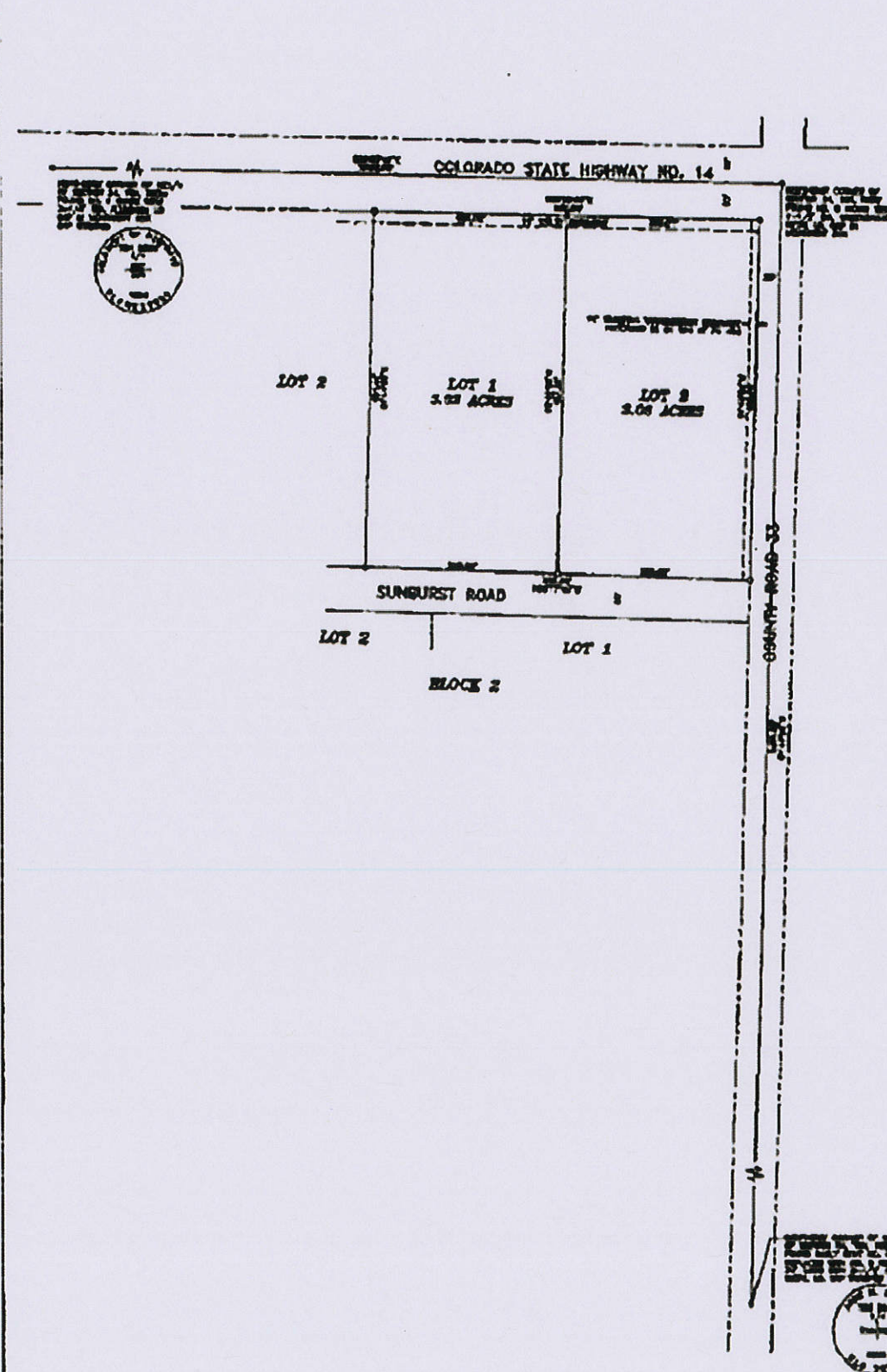
Joseph A. McBride (Aye) (Nay)

Jane E. Bauder (Aye) (Nay)

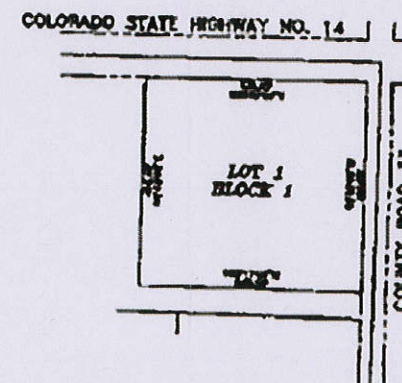


HORIZON RESUBDIVISION

OF LOT 1, BLOCK 1, KMW INDUSTRIAL PARK,
A Part of E1/2NE1/4 of SECTION 34, TOWNSHIP 8 NORTH, RANGE 53 WEST
of the SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO



Previous Resubdivision with current lot lines



ORIGINAL PLATTING OF
LOT 1, BLOCK 1, KMW INDUSTRIAL PARK
A Part of E1/2NE1/4 of SECTION 34, TOWNSHIP 8 NORTH, RANGE 53 WEST
of the SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO
SCALE: 1" = 200'

OWNER AND SUBDIVIDER:

ROBERT A. HAMIL
14512 HIGHWAY 14
STERLING, CO 80751

SURVEYOR:

LEIBERT-McATREE & ASSOCIATES, INC.
P.O. BOX 442 910 SOUTH DIVISION AVE
STERLING, CO 80751 970-522-1860

**RESOLUTION
NO. 2022-27**

**BOARD OF COUNTY COMMISSIONERS
COUNTY OF LOGAN, STATE OF COLORADO**

A Resolution approving the Re-subdivision and Replat of Lots 1 and 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, a part of the E1/2NE1/4 of Section 34, Township 8 North, Range 53 West of the 6" P.M., Logan County, Colorado.

WHEREAS, Bohler Real Estate, LLC, owner, has petitioned the Board of County Commissioners of Logan County, Colorado, to re-subdivide and replat the following legally described property:

IN RE: Re-subdivision and Replat of Lots 1 and 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, a part of the E1/2NE1/4 of Section 34, Township 8 North, Range 53 West of the 6th P.M., Logan County, Colorado.

WHEREAS, the proposed re-subdivision will adjust lot lines between Lot 1 and Lot 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, all as more fully described on Official Subdivision Plat No. 2022- 27, attached hereto and fully incorporated herein; and

WHEREAS, the Logan County Planning Commission, after reviewing the application and conducting a public hearing on the application, recommended the approval of the proposed re-subdivision and replat of Lots 1 and 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, Second Filing, at it regular meeting on May 17, 2022.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY
COMMISSIONERS OF LOGAN COUNTY, COLORADO, THAT:**

1. The application of Bohler Real Estate, LLC for re-subdivision and replat of Lots 1 and 2, Horizon Re-subdivision of Lot 1, Block 1, KMW Industrial Park, as shown on Official Subdivision Plat No. 2022 - 27, is hereby GRANTED, subject to the following conditions:

- A. The applicant shall be responsible for complying with all conditions or requirements set forth in the Logan County Zoning Resolution and Subdivision Regulations.
- B. The applicant shall be responsible for complying with all conditions or requirements of any applicable homeowner's association covenants.

All supporting information submitted by the applicant for consideration of the application forms part of the basis of the approval of the application.

DONE on Tuesday, this 5th day of July, 2022.

BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO

(Aye)(Nay)
Byron H. Pelton, Chairman

(Aye)(Nay)
Jane E. Bauder, Commissioner

(Aye)(Nay)
Joseph A. McBride, Commissioner

I, Pamela M. Bacon, County Clerk and Recorder in and for the County of Logan, State of Colorado, do hereby certify that the foregoing Resolution was adopted by the Board of County Commissioners of the County of Logan and State of Colorado, in regular session on this 5th day of July, 2022.

County Clerk and Recorder

LOGAN COUNTY RESUBDIVISION APPLICATION
BOARD OF COUNTY COMMISSIONERS
DEPARTMENT OF PLANNING & ZONING
315 MAIN STREET, STERLING, CO 80751

Applicant: Bohler Real Estate LLC Phone: 970-580-2653
Address: P.O. Box 986 STERLING, CO 80751
Landowner: Same Phone: _____
Address: _____
Legal Description of total Parcel: Lot 1 Horizon Resub of Lot 1 Blk 1
Legal Description of Parcel to be re-subdivided: same
Total Acreage of parcel to be divided: 3.02
Number of Parcels that would be created: 2
Acreage of proposed parcels: _____
Date that parcel was acquired by owners: _____
If Deed is recorded in Torrens System: Number _____
If Deed is recorded in General System: Book _____ Page _____
Existing zoning classification: _____
Proposed use of each parcel: _____
Proposed water and sewer facilities: _____
Existing water and sewer facilities: _____
Proposed access to each new lot: _____
Existing access to each new lot: _____
Reason for request: _____

Date of certificate stating that all property taxes have been paid: _____

Bohler Real Estate LLC
Resubdivide
RSUB2022-1 May 2022
34-8-53

Bohler Real Estate LLC

Resubdivide

RSUB2022-1 May 2022

34-8-53

INFORMATION ON WATER WELLS

Is there an existing well on the proposed parcel?

(Y)

or

N

Existing well on parcel to be created

Well Permit No: 249192Permitted Use: Residential

Depth: _____

WATER SUPPLY PLAN

The Division of Water Resources requires the following information. The information will assist the Division of Water Resources in their review and recommendation of this request for a Resubdivision Application.

1. Enclose a plat and description of the affected property.
2. Has a subdivision exemption on this parcel of land been granted since 1972? NO
3. Well Permit numbers on entire parcel: _____
4. If well permit numbers are not available, please provide the following for all wells:

Names of previous owners: JAMES HAMIL

Dates wells were constructed: _____

Depths of wells: _____

5. Indicate existing use of water:
 - a. Number of wells: 1
 - b. Existing Use: Domestic: X
Livestock: _____
Garden/Lawn: _____
Irrigation: _____
Other Uses: _____
 - c. Location of wells. (Show on Plat.)
 - d. Location of dwellings. (Show on Plat.)

6. Proposed water supply: _____

7. Explain how existing wells will be used after land is divided: supply both
plats

8. Intended use of new well(s): _____

9. Will new well be used by the applicant only or shared? _____

10. What aquifer will be used? _____

Depth of well: _____ Estimated cost: _____

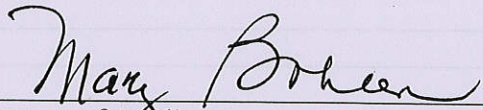
11. How much water will you need? _____
12. Water requirements for each of the proposed lots: _____

13. Will more than one dwelling be allowed? Y or N
14. Proposed area for lawn and garden for each lot: Square Feet _____
15. Will horses or other livestock be allowed on new parcel? Y or N

DATED AT STERLING, COLORADO, this _____ day of _____, _____



Signature of Landowner



Signature of Applicant

Bohler Real Estate LLC
Resubdivide
RSUB2022-1 May 2022
34-8-53

FOR COUNTY USE

Application Fee: One Hundred Dollars (\$100.00)

Recording Fee: Thirteen Dollars (\$13.00)

Date of Planning Commission: _____

Recommendation of Planning Commission: ✓ Approval _____ Denial

Recommended Conditions of Resubdivision:


Chairperson, Planning Commission

=====

COUNTY COMMISSIONERS ACTION:

Conditions of Resubdivision: _____

Date Granted: _____

Date Denied: _____

Byron H. Pelton (Aye) (Nay)

Joseph A. McBride (Aye) (Nay)

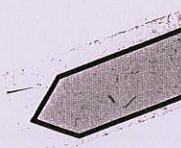
Jane E. Bauder (Aye) (Nay)

Bohler Real Estate LLC

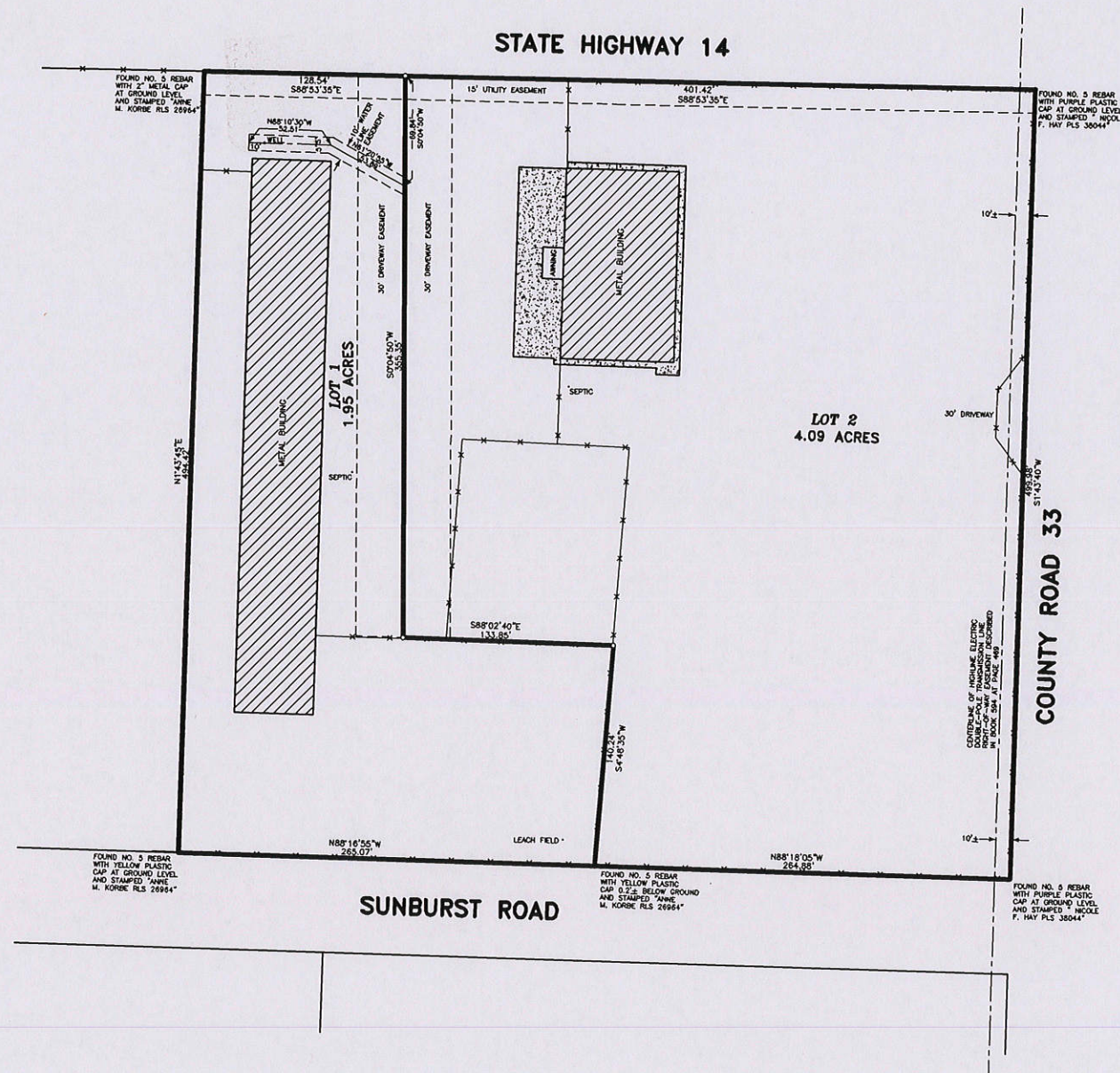
Resubdivide

RSUB2022-1 May 2022

34-8-53

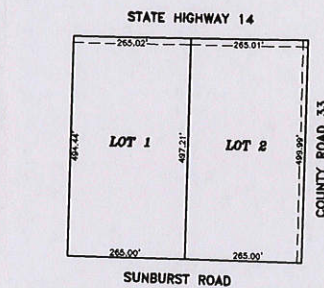


BOHLER RESUBDIVISION
OF LOTS 1 AND 2 OF HORIZON RESUBDIVISION
OF LOT 1, BLOCK 1, KMW INDUSTRIAL PARK,
A PART OF THE E1/2NE1/4 OF SECTION 34, TOWNSHIP 8 NORTH, RANGE 53 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO



LEGEND

- SET NO. 5 REBAR 18" LONG AT GROUND LEVEL WITH PURPLE PLASTIC CAP STAMPED "PLS 38044"
- FOUND POINTS AS DESCRIBED
- — — EXISTING FENCE LINE

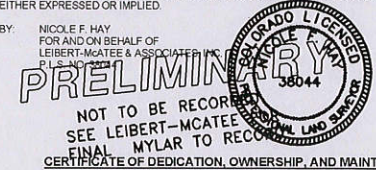


**ORIGINAL PLATTING OF
LOTS 1 AND 2 OF
HORIZON RESUBDIVISION**
NOT TO SCALE

SURVEYOR'S STATEMENT

I, NICOLE F. HAY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE SURVEY REPRESENTED BY THIS PLAT WAS MADE BY ME OR UNDER MY SUPERVISION, AND THIS PLAT ACCURATELY REPRESENTS SAID SURVEY BASED UPON MY KNOWLEDGE, INFORMATION, AND BELIEF. I FURTHER STATE THAT THE SURVEY AND THIS PLAT COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, AND LAWS OF THE STATE OF COLORADO, STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS, AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

BY: NICOLE F. HAY
FOR AND ON BEHALF OF
LEIBERT-MCATEE & ASSOCIATES, INC.
P.L.S. NO. 38044



KNOW ALL MEN BY THESE PRESENTS THAT BOHLER REAL ESTATE, LLC BEING THE OWNER OF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 1 AND 2 OF HORIZON RESUBDIVISION OF LOT 1, BLOCK 1, KMW INDUSTRIAL PARK, A PART OF THE E1/2NE1/4 OF SECTION 34, TOWNSHIP 8 NORTH, RANGE 53 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO.

HAS BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND BLOCKS, UNDER THE NAME AND STYLE OF BOHLER RESUBDIVISION OF LOTS 1 AND 2 OF HORIZON RESUBDIVISION OF LOT 1, BLOCK 1, KMW INDUSTRIAL PARK, A PART OF THE E1/2NE1/4 OF SECTION 34, TOWNSHIP 8 NORTH, RANGE 53 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO, AND DOES HEREBY DEDICATE TO THE PUBLIC ALL WAYS AND OTHER PUBLIC RIGHTS-OF-WAY AND EASEMENTS FOR PURPOSES SHOWN HEREON.

EXECUTED THIS _____ DAY OF _____, 20____.

BOHLER REAL ESTATE, LLC

MARY BOHLER

STATE OF COLORADO)
COUNTY OF LOGAN) ss.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

PLANNING COMMISSION CERTIFICATE

THIS PLAT APPROVED BY THE LOGAN COUNTY PLANNING COMMISSION
THIS _____ DAY OF _____, A.D. 20____.

CHAIRPERSON

CERTIFICATE OF APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS

APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF LOGAN COUNTY, STATE OF COLORADO.

CHAIRPERSON

WITNESS MY HAND AND THE CORPORATION SEAL OF LOGAN COUNTY
THIS _____ DAY OF _____, A.D. 20____.

ATTEST:

COUNTY CLERK AND RECORDER

RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF LOGAN COUNTY AT _____ O'CLOCK _____ M. ON THE _____ DAY OF _____, A.D. 20____, IN BOOK _____, MAP _____, RECEPTION NO. _____.

COUNTY CLERK AND RECORDER

BY: DEPUTY

PLAT NOTE

LOGAN COUNTY HAS ADOPTED A RIGHT TO FARM AND RANCH POLICY. RESOLUTION #99-50. RECORDED SEPTEMBER 21, 1999, IN BOOK 925 AT PAGE 439 OF THE LOGAN COUNTY RECORDS. PLEASE READ IT AND BE AWARE OF ITS PROVISIONS.

NOTES

EASEMENT INFORMATION AS PER _____

BEARINGS FOR THIS SURVEY ARE BASED ON THE ASSUMPTION THAT THE WEST LINE OF LOT 1 OF HORIZON RESUBDIVISION OF LOT 1, BLOCK 1, KMW INDUSTRIAL PARK, A PART OF E1/2NE1/4 OF SECTION 34, TOWNSHIP 8 NORTH, RANGE 53 WEST OF THE SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO BEARS NORTH 1°43'45" EAST. THE SOUTHWEST AND NORTHWEST CORNERS OF SAID LOT 1 ARE MONUMENTED AS SHOWN.

NOTICE

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

REVISIONS	LEIBERT-MCATEE & ASSOCIATES, INC. P.O. BOX 442 615 SOUTH TENTH AVENUE STERLING, CO 80751 970-522-1960
	TITLE BOHLER RESUBDIVISION OF LOTS 1 AND 2 OF HORIZON RESUBDIVISION OF LOT 1, BLOCK 1, KMW INDUSTRIAL PARK, A PART OF THE E1/2NE1/4 OF SECTION 34, T8N, R53W OF THE SIXTH PRINCIPAL MERIDIAN, LOGAN COUNTY, COLORADO
SCALE: 1" = 50'	DR. BY: AK DRAWING NO.
DATE: 7-7-21	PROJECT: 100-20N SHEET 1 of 1

AGREEMENT TO USE LOGAN COUNTY RIGHT OF WAY
INDIVIDUAL PERMIT

THIS AGREEMENT made this (County fills in) _____ day of _____, 2022, by and between the County of Logan, State of Colorado, hereinafter called "County", and Viaero Fiber Networks, LLC the undersigned easement holder or landowner, hereinafter called "Applicant".

WHEREAS, Applicant owns the following described premises, or has an easement on, over or through said premises, to-wit (legal description): South side of CR 50 and East side of CR 37 in Logan County; and

WHEREAS, Applicant desires to install and construct a Fiber optic line, which will be located (Circle One): along, bore under, or trench across County Road 50 and County Road 37 in Logan County, to benefit the above described premises; and

WHEREAS, the County is willing to allow such installation and construction by Applicant, but only upon the terms and covenants contained herein.

NOW, THEREFORE, in consideration of paying the County the sum of \$100.00 or \$200.00 and keeping of the terms and covenants contained herein, the parties agree as follows:

- ☐ Applicant agrees to furnish the County in writing in advance of installation the exact location and dimensions of said installation and construction.
- ☐ Buried installations must be at no less than 48 inches below the lowest level of any borrow ditch paralleling the County Road and an "Individual permit" must be submitted for each instance.
- ☐ Applicant shall have the right to install and construct conduit, hand holes and fiber optic cable, described above, in the right of way of CR 50 and CR 37, but such installation and construction shall be done only in the following manner. All work within the county ROW shall be performed only during regular business hours of the Logan County Road & Bridge Department to enable supervision and inspection of the work.
- ☐ All work authorized by this Agreement shall be completed no later than December 31, 2022.
- ☐ It is understood that no paved or oil-surfaced road shall be cut and will be crossed by boring only. For other roads and crossings of County property after installation. Applicant shall restore the surface to the same condition as existed prior to such construction.
- ☐ All cost and expense of installation, construction, maintenance, removal, or replacement is to be paid by the Applicant.
- ☐ The traveling public must be protected during this installation with proper warning signs or signals both day and night. Warning signs and signals shall be installed by and at the expense of Applicant.

Viaero Fiber Networks LLC
Right of Way
ROW2022-6 July 2022
Along County Road 50 & 37

☐ Applicant hereby releases the County from any liability for damages caused by said construction and installation of fiber optic, whether caused by employees or equipment of the County, or others, at any time. Further, Applicant agrees to protect, save and hold harmless, and indemnify the County from and against all liability, loss, damages, personal injuries or expenses suffered by or imposed against the County by reason of the construction, installation or maintenance of the above described improvement.

☐ No perpetual easement or right of way is granted by this instrument and should Applicant's use of said right-of-way interfere with the County's use, or intended use of said right-of-way, Applicant will remove or relocate the same upon demand of the County. Applicant shall pay all costs of such removal or relocation.

☐ This Agreement shall be a covenant running with the above-described real property and shall be binding upon the parties hereto, their heirs, successors, personal representatives, and assigns.

☐ Other Provisions: _____

Note: Applicants in the process of acquiring a Conditional Use Permit or a Special Use Permit - If easements containing signatures have been obtained and are in hand for the appropriate permit, then the landowner signatures required below can be waived.

Owner #1

Printed Name _____ Signature _____

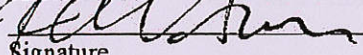
Owner #2

Printed Name _____ Signature _____

Individual Right-of-Way Permit Applicant:

Ron Christensen, President

Printed name



Signature

Address: 1201 W Platte Ave
Fort Morgan, CO 80701

Application Fee Paid _____

Date 06/03/2022

Signed at Sterling, Colorado the day and year first above written.

**THE BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO**

Byron H. Pelton (Aye) (Nay)

Joseph A. McBride (Aye) (Nay)

Jane E. Bauder (Aye) (Nay)

Viaero Fiber Networks LLC
Right of Way
ROW2022-6 July 2022
Along County Road 50 & 37

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

VIAERO FIBER NETWORKS, LLC CONSTRUCTION PLANS

PADRONI TO BUCHANAN

LOGAN COUNTY

CONSTRUCTION NOTES:

- CONTRACTOR MUST HAVE A COPY OF THE APPROVED PERMIT FROM THE APPROPRIATE AGENCIES ON THE JOBSITE AT ALL TIMES.
- ALL WORK IS TO BE IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION IN THE WORK ZONE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, QUANTITIES, AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR MUST OBTAIN LOCATES AND POTHOLE ALL UTILITIES ALONG THE PLANNED RUNNING LINE PRIOR TO CONSTRUCTION.
- THE UTILITY SIZE AND EXACT LOCATION CROSSING THE PROPOSED RUNNING LINE SHALL BE DETERMINED DURING THE POTHOLE PROCESS AND NOTED ON THE CONSTRUCTION DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION AND AVOIDING ALL CONFLICTS WITH EXISTING UTILITIES.
- ALL CABLE IS TO BE PLACED AT THE VIAERO STANDARD MINIMUM DEPTH OF 48".
- ANY DISTURBED LANDSCAPING IS TO BE REPLACED TO EQUAL OR BETTER THAN THAT WHICH EXISTED PRIOR TO WORK.
- ALL WORK IS TO BE PROPERLY BACKFILLED PRIOR TO END OF WORKDAY. NO OPEN TRENCHES ARE ALLOWED OVERNIGHT.
- NO CONSTRUCTION ON PRIVATE PROPERTY IS TO COMMENCE UNTIL EASEMENT IS GRANTED IN WRITING BY VIAERO.
- IN AREAS WHERE PROPOSED WORK IS IN CLOSE PROXIMITY TO EXISTING RIGHTS-OF-WAYS AND/OR PROPERTY LINES, CONTRACTOR IS RESPONSIBLE FOR LOCATING SAID LINES AND AVOIDING ENCROACHMENT ONTO UNAUTHORIZED PROPERTY.
- THESE PLANS ARE PRESENTED IN A PERFORMANCE SPECIFICATION FORMAT. BIDDING CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.
- CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.

CONTACT INFORMATION:

VIAERO FIBER NETWORKS, LLC
RON CHRISTENSEN PH: 970-467-3142

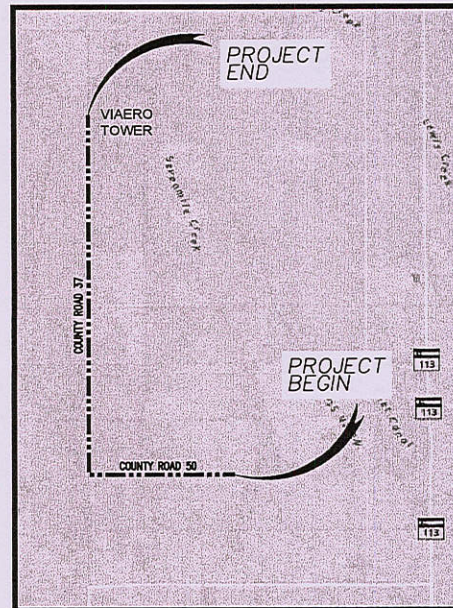
CDGC
BWL PH: 303-548-1379

GENERAL NOTES:

- RUNNING LINE PLAN COLOR INDICATES:
VICINITY MAP: BLACK = FOR ROUTE ONLY
PLAN SHEETS: RED = DIRECTIONAL BORE
PLAN SHEETS: GREEN = PLOW
PLAN SHEETS: ORANGE = TRENCH

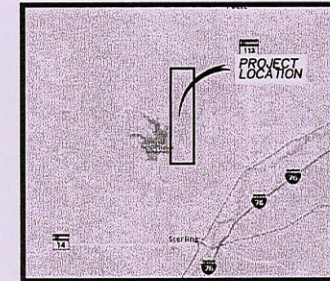
SCOPE OF WORK:

THIS PROJECT IS PROPOSED TO CONSTRUCT CONDUITS UNDERGROUND WITHIN LOGAN COUNTY, STARTING AT THE PADRONI COUNTY LINE ON COUNTY ROAD 50 HEAD WEST TO COUNTY ROAD 37 THEN NORTH THE VIAERO TOWER. PLEASE REFERENCE PROJECT MAP THIS SHEET FOR CLARITY. THIS PROPOSED PROJECT IS APPROXIMATELY 51055' IN LENGTH.



Project Map
NOT TO SCALE

WORK PLAN INDEX	
SHEET	DRAWING NAME
01	COVER SHEET
02-23	PROJECT SHEET
24-25	PROJECT NOTES
26	PROJECT DETAILS



Vicinity Map
NOT TO SCALE

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	51055	
FT	VIAERO FIBER	52305	
EA	VIAERO 30"x48"x24"/20K HH	11	
EA	VIAERO 30"x48"x36"/20K SP HH	3	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	4960	
FT	PLOW (3) 1.25" SDR-11	45535	
FT	TRENCH (3) 1.25" SDR-11	560	
FT	PLACE VIAERO FIBER	52305	
EA	PLACE VIAERO 30"x48"x24"/20K HH	11	
EA	VIAERO 30"x48"x36"/20K SP HH	3	

LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
	TELEPHONE PED - CROSS BOX
	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
	STORM GRATE
	CULVERT
	TREE
	CUT-RESTORE

LINETYPES

	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-PLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
	RIGHT-OF-WAY
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
	FENCE-EXISTING
	GUARD RAIL-EXISTING
	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12014 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.444.1379

DESIGNED BY:	BWL
CHECKED BY:	BWL
APPROVED BY:	

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. PH: 970-467-3142
Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
CALL 811 TO LOCATE UTILITIES BEFORE YOU DIG

PROJECT ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

COVER SHEET

FILE NAME: c:\Users\Bushman\Documents\Logan County-Renova.dwg	SHEET:
DATE: 08/01/2022	01
DATE: 08/01/2022	
SCALE: 1"=100'	
PLT DATE: 5/24/2022	SHEET: 01 OF 26

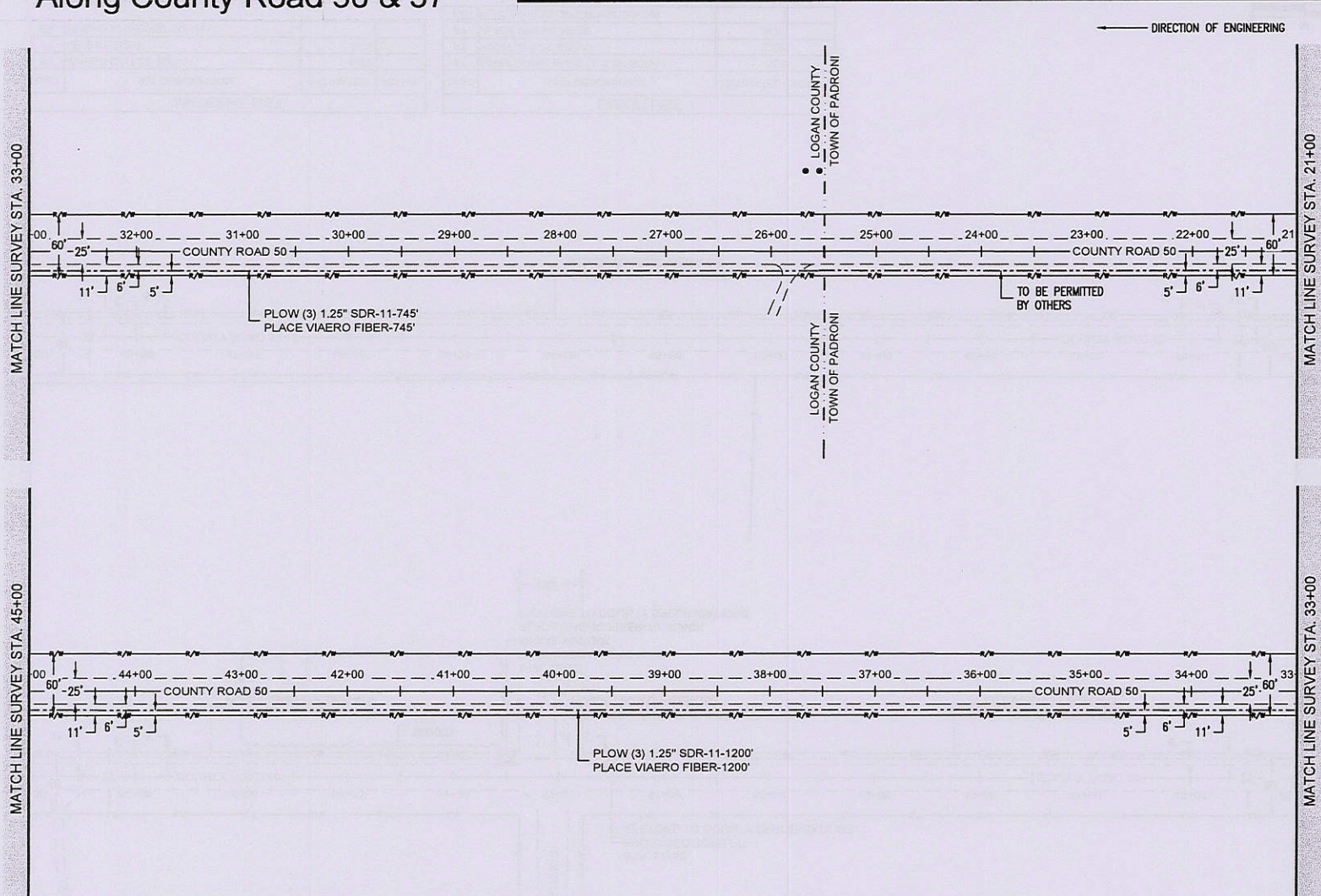
PROJECT APPROVAL SIGN-OFFS:
LOGAN COUNTY

VIAERO FIBER NETWORKS, LLC

DATE:

DATE:

Viaero Fiber Networks LLC
Right of Way
ROW2022-6 July 2022
Along County Road 50 & 37



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
 13074 ELKHORN CIRCLE BROOMFIELD, CO 80021
 PHONE: 303.548.1375

DESIGN BY: BVL
 CHECKED BY: BVL
 APPROVED BY:

VIAERO
 Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 467-3142
 Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
 CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
 LOGAN COUNTY

PROJECT SHEET

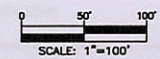
FILE NAME: padroni-buchanan-logan-county-broadband.dwg
 DATE CHARGED: 2/28/2022
 DATE REVIEWED: 5/24/2022
 SCALE: 1"=100'
 PLOT DATE: 5/24/2022

02

SHEET: 02 OF 26

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	1945	
FT	VIAERO FIBER	1945	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	1945	
FT	PLACE VIAERO FIBER	1945	

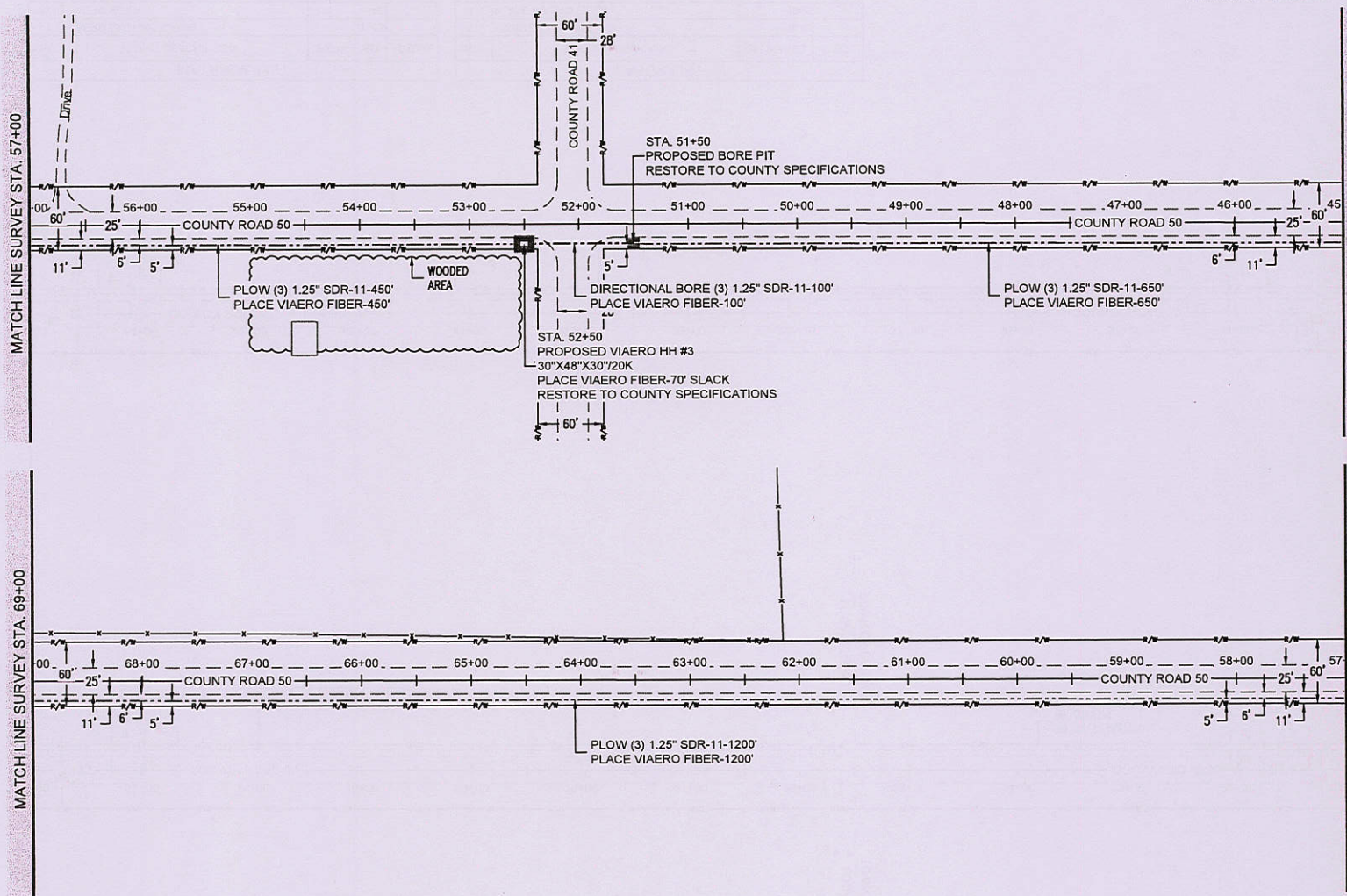


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PROPOSED BY OTHERS
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SHOULDER
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1234 E. HIGHWAY 100, SUITE 100, DENVER, CO 80202
PHONE: 303.555.1234

DRAWN BY: BVA
CHECKED BY: BVA
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave.
Fort Morgan, CO 80701
PH: 1-877-467-3142
WWW.VIAERO.COM

COLORADO 811
1-800-4-A-ROOT

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: Padroni-Buchanan-Logan-County-Roads.dwg
DATE CHG: 3/28/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022

03

SHEET: 03 OF 25

MATERIAL LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30"X48"X30" 20K HH	1	

LABOR LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	100	
FT	PLOW (3) 1.25" SDR-11	2300	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30"X48"X30" 20K HH	1	

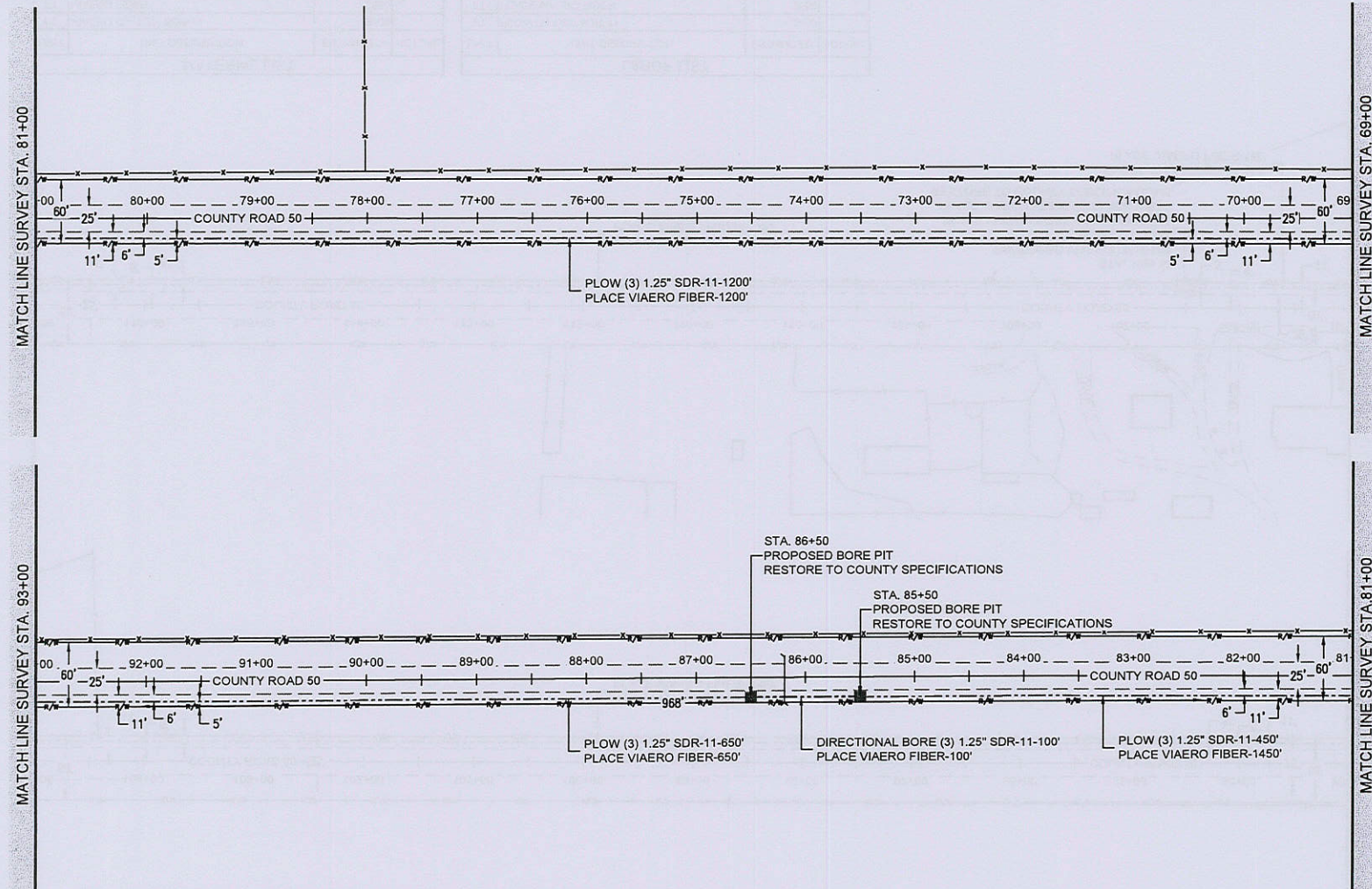
0 50' 100'
SCALE: 1"=100'

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



- #### LEGEND
- STREET SIGN
 - ⊕ FIRE HYDRANT
 - WATER METER
 - ⊗ UTILITY VALVE
 - ⊗ UTILITY POLE
 - ⊙ UTILITY MANHOLE
 - UTILITY HANDHOLE
 - ⊞ ELECTRICAL/UTILITY CABINET
 - ⊞ TELEPHONE PED -CROSS BOX
 - ⊞ PROPOSED VIAERO MANHOLE
 - ⊞ PROPOSED VIAERO HANDHOLE
 - ⊞ STORM INLET
 - STORM GRATE
 - CULVERT
 - TREE
 - CUT-RESTORE
- #### LINETYPES
- CONDUIT-PERMITTED BY OTHERS
 - CONDUIT-PLOW
 - CONDUIT-TRENCH
 - CONDUIT-DIRECTIONAL BORE
 - RIGHT-OF-WAY
 - EDGE OF ASPHALT
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 - RAILROAD-EXISTING
 - GAS-EXISTING
 - UNDERGROUND ELECTRIC-EXISTING
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 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STEAM-EXISTING
 - WATER-EXISTING
 - BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
13714 ELKWOOD CIRCLE BROOKFIELD, CO 80521
PHONE: 303.848.1379

DESIGN BY: BVAL
CHECKED BY: BVAL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 E. Platte Ave.
Fort Morgan, CO 80701
PH: 1-877-467-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: padroni-buchanan-logan-county-renewal.dwg
DATE: 2/28/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022

SHEET: 04 OF 25

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	100	
FT	PLOW (3) 1.25" SDR-11	2300	
FT	PLACE VIAERO FIBER	2400	

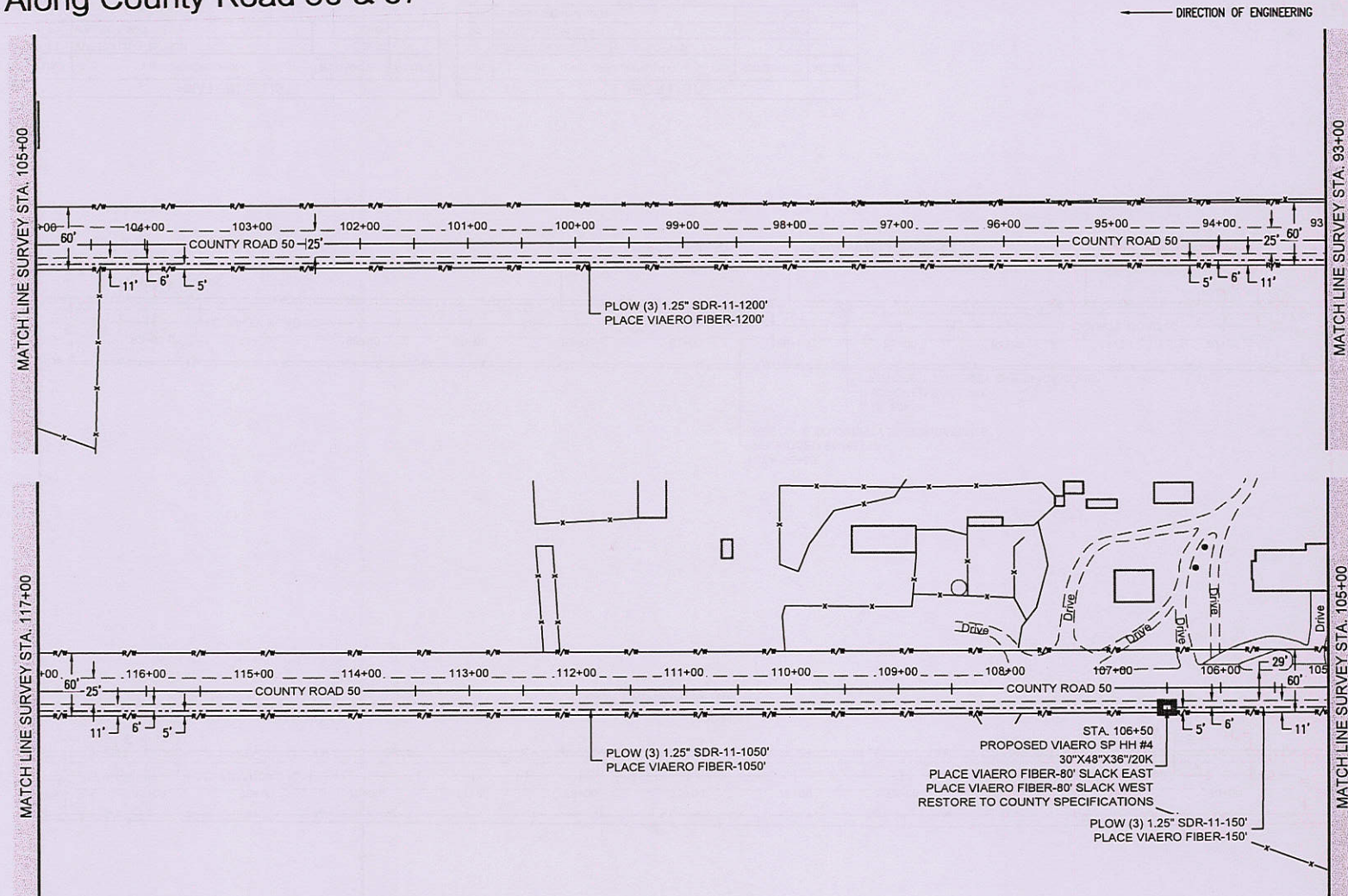


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	2400	
FT	VIAERO FIBER	2560	
EA	VIAERO 30"x48"x36" 20K SP HH		1

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2560	
EA	PLACE VIAERO 30"x48"x36" 20K SP HH		1

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
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LINETYPES

- CONDUIT-PERMITTED BY OTHERS
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- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
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- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1274 ELKHORN CIRCLE, BROOKFIELD, CO 80021
PHONE: 303.544.1379

DESIGNED BY: BVL

CHECKED BY: BVL

APPROVED BY:

VIAERO

Fiber Networks, LLC

1224 E. Platte Ave. P.O. Box 1-870-487-3142
Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

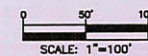
FILE NAME: padroni-buchanan-logan-county-reroute.dwg SHEET: 05

DATE: 3/28/2022

DATE REVISION: 5/24/2022

SCALE: 1"=100'

PLAT DATE: 5/24/2022 SHEET: 05 OF: 26

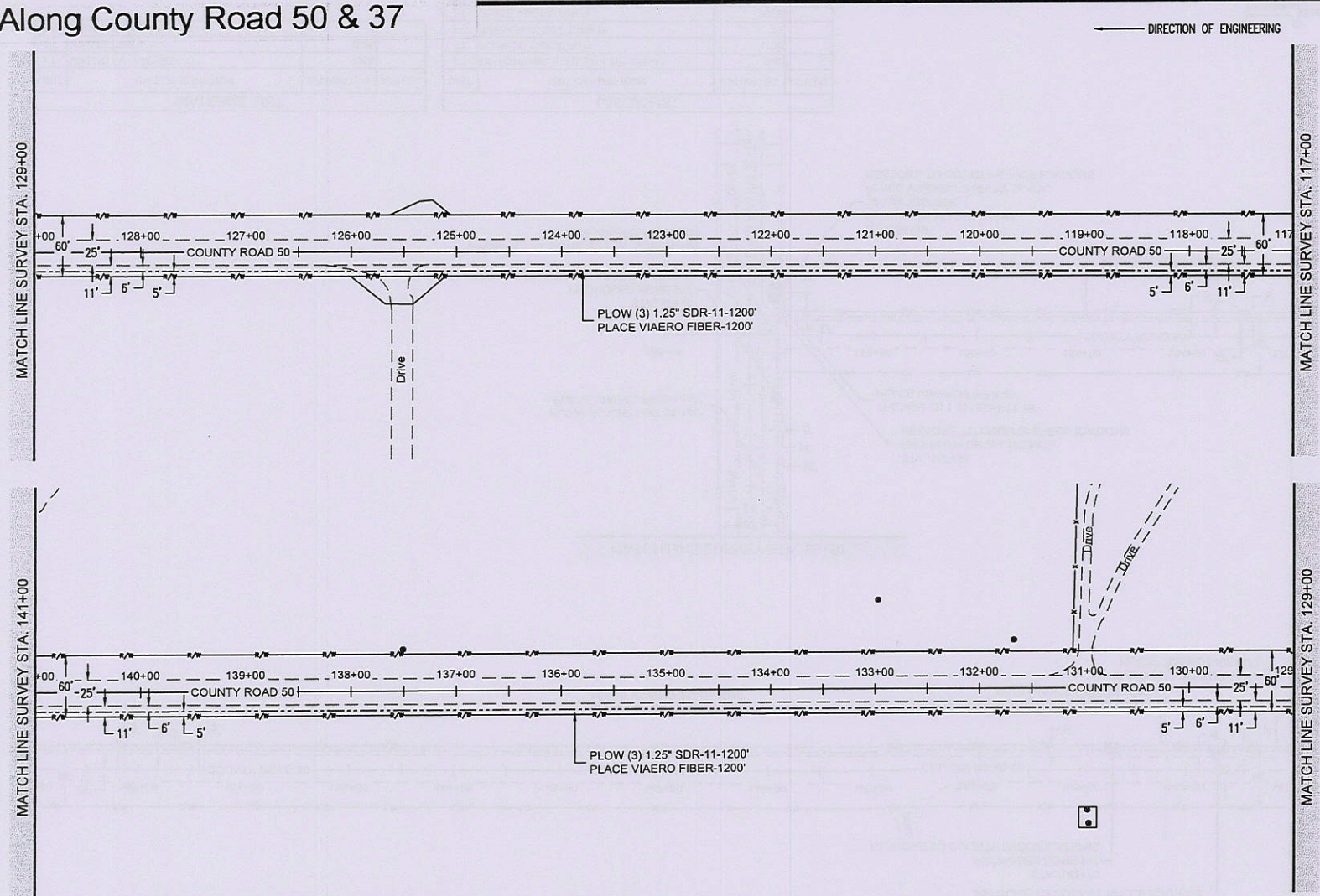


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
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- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
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LINETYPES

- CONDUIT-PERMITTED BY OTHERS
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- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12514 E. BLOOMING CIRCLE BROOMFIELD, CO 80021
PHONE: 303.544.1779

DRAWN BY: BVL

CHECKED BY: BVL

APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave.
Fort Morgan, CO 80701

PH: 970-467-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: colorado-buchanan-logan-county-renewal.dwg

DATE CHG: 2/28/2022

DATE REVISED: 5/24/2022

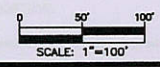
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PLOT DATE: 5/24/2022

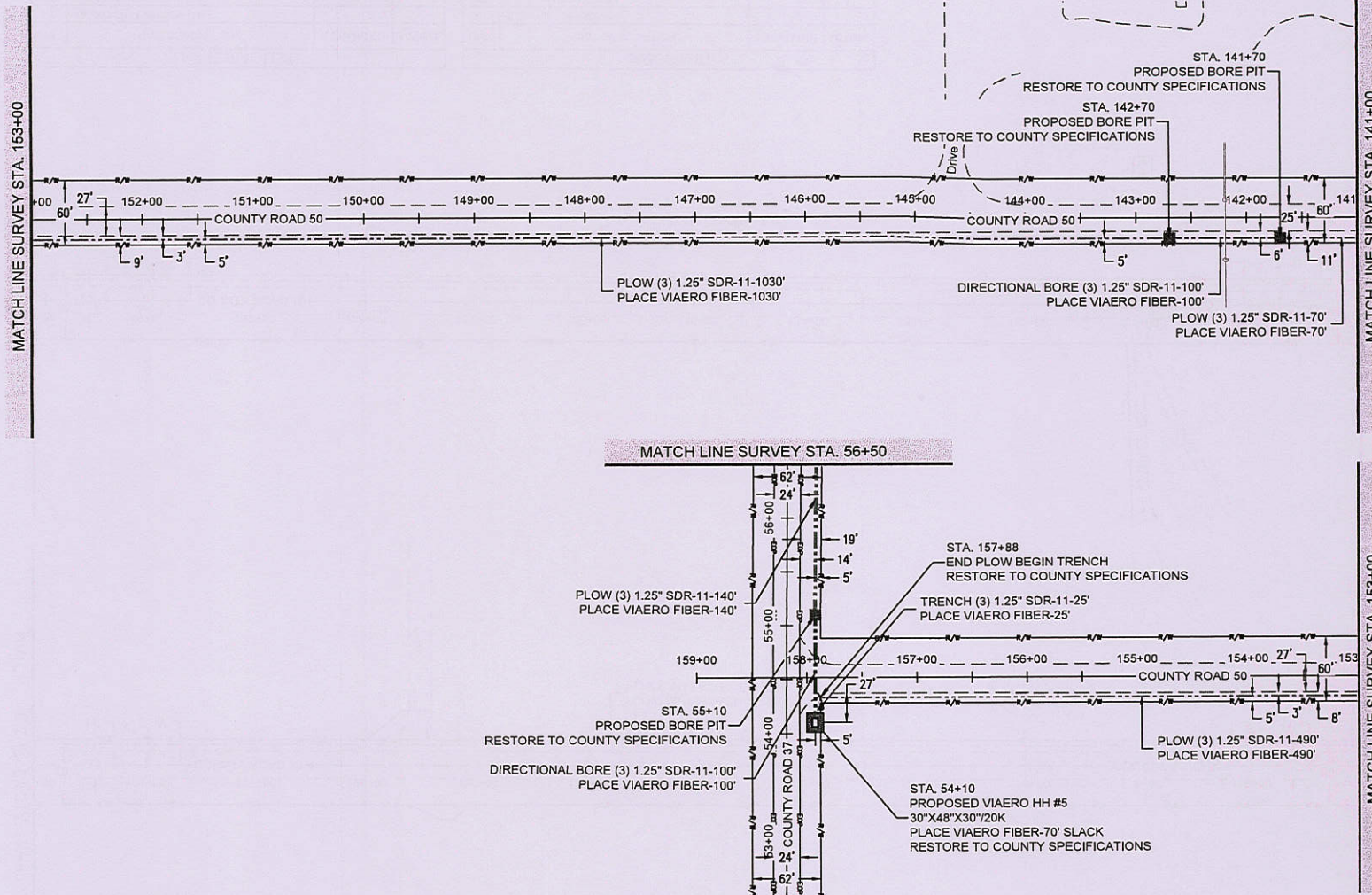
SHEET: 06 OF 26

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2400	



Viaero Fiber Networks LLC
Right of Way
ROW2022-6 July 2022
Along County Road 50 & 37



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3)-1.25" SDR-11	1955	
FT	VIAERO FIBER	2025	
EA	VIAERO 30"x48"x30" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	200	
FT	PLOW (3) 1.25" SDR-11	1730	
FT	TRENCH (3) 1.25" SDR-11	25	
FT	PLACE VIAERO FIBER	2025	
EA	PLACE VIAERO 30"x48"x30" 20K HH	1	

LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
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	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
	STORM GRATE
	CULVERT
	TREE
	CUT-RESTORE
LINETYPES	
	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-FLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
	RIGHT-OF-WAY
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
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	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
 1234 E. HIGHWAY 100, SUITE 100
 FORT MORGAN, CO 80701
 PHONE: 303.444.1379

DESIGN BY: BVL
 CHECKED BY: BVL
 APPROVED BY:

VIAERO
 Fiber Networks, LLC

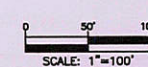
1224 E. Platte Ave. Fort Morgan, CO 80701
 PHONE: 303.444.1379

COLORADO 811
 CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
 LOGAN COUNTY

PROJECT SHEET

FILE NAME: Padroni-Buchanan-Logan County-Roads.dwg
 DATE: 2/28/2022
 DATE REVISION: 5/24/2022
 SCALE: 1"=100'
 PLOT DATE: 5/24/2022
 SHEET: 07 OF 26

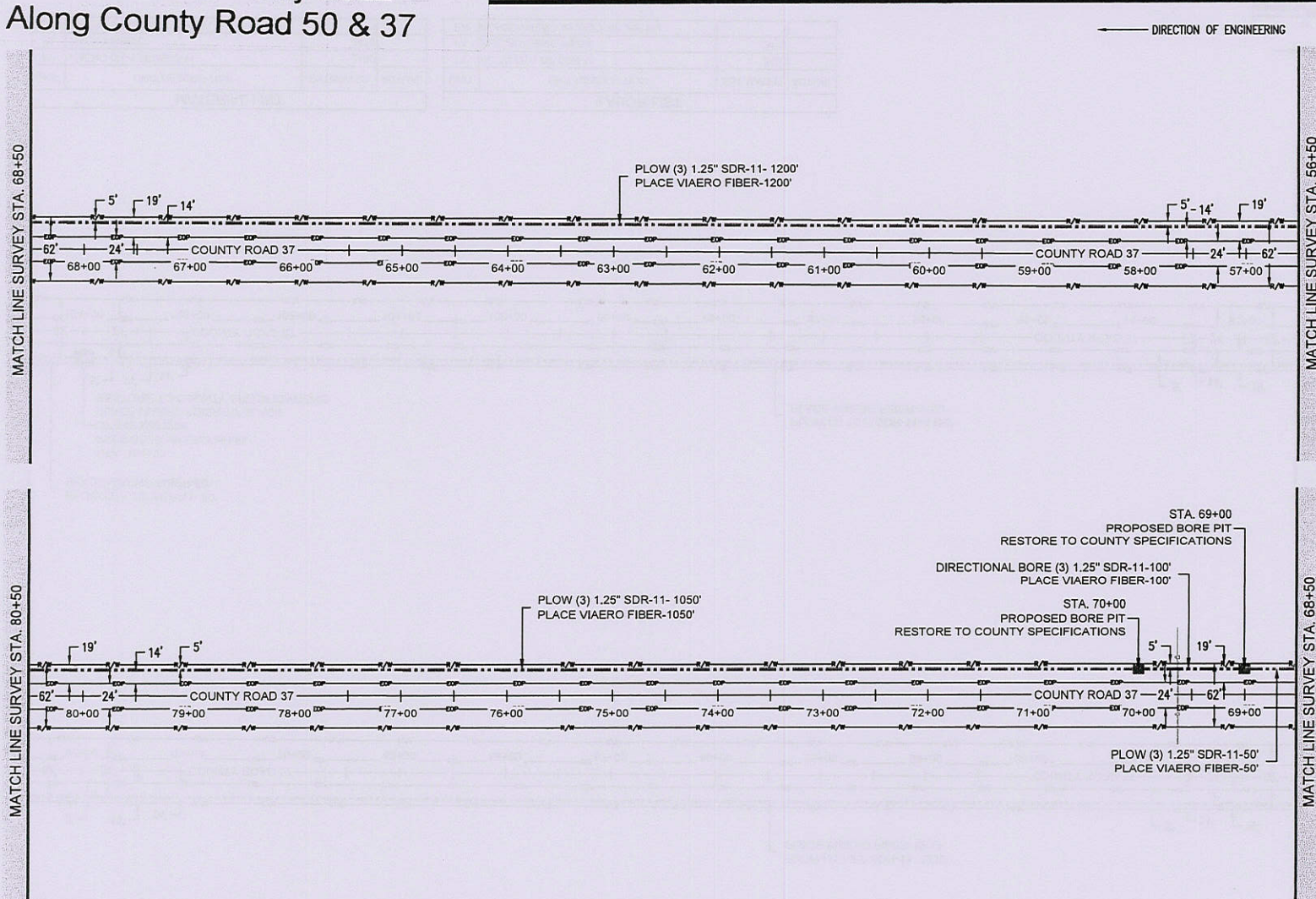


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
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- STORM GRATE
- CULVERT
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- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
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- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
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- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12374 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.448.1379

DESIGNED BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

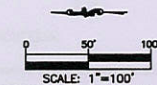
1224 N. Platte Ave. P.O. Box 467-3142
Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

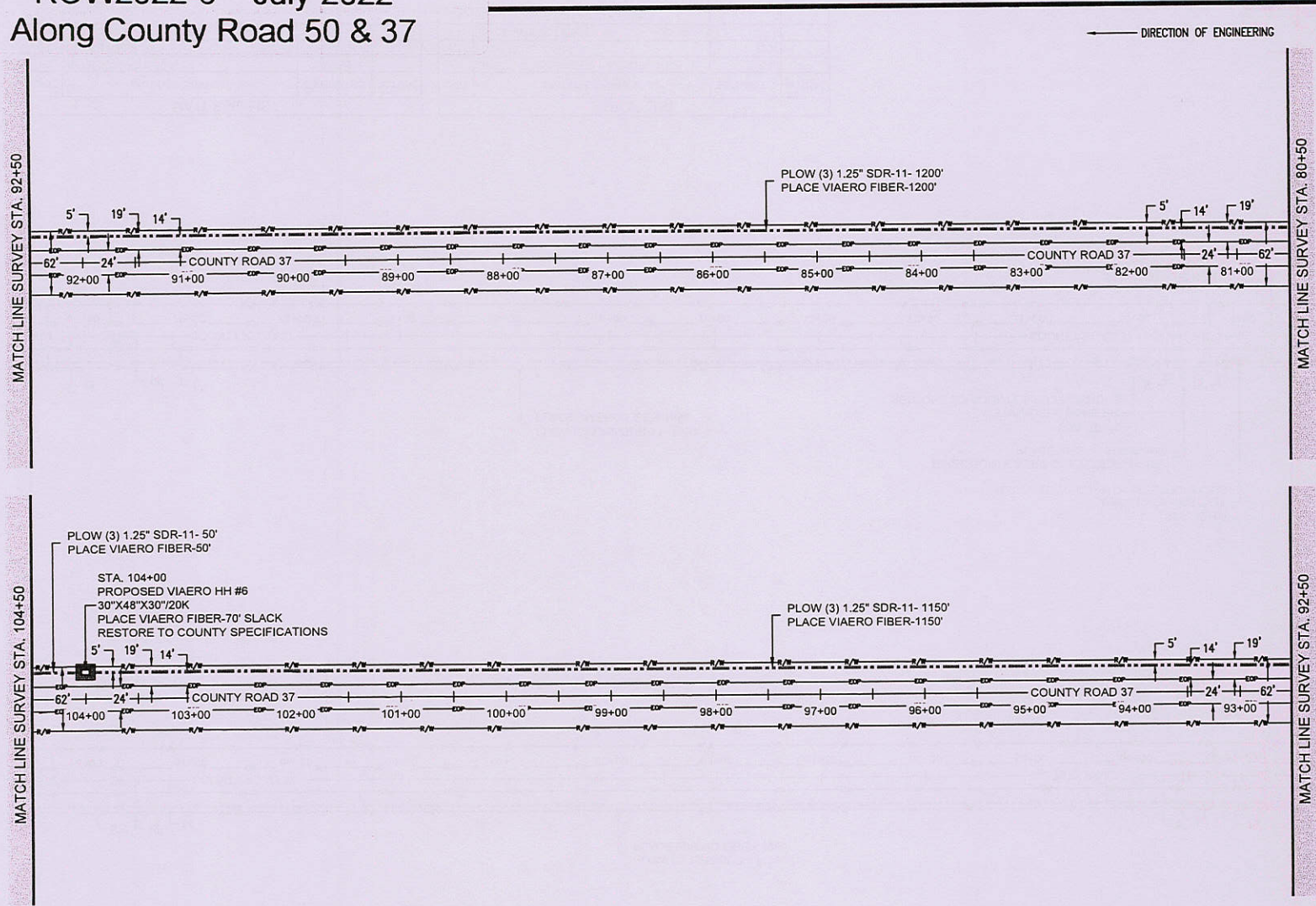
FILE NAME: padroni-buchanan-logan-county-roads.dwg SHEET: 08
DATE: 3/28/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022 SHEET: 08 OF: 26



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30"x48"x30" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	200	
FT	PLOW (3) 1.25" SDR-11	2200	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30"x48"x30" 20K HH	1	

Viaero Fiber Networks LLC
Right of Way
ROW2022-6 July 2022
Along County Road 50 & 37



- LEGEND**
- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - UTILITY VALVE
 - UTILITY POLE
 - UTILITY MANHOLE
 - UTILITY HANDHOLE
 - ELECTRICAL/UTILITY CABINET
 - TELEPHONE PED -CROSS BOX
 - PROPOSED VIAERO MANHOLE
 - PROPOSED VIAERO HANDHOLE
 - STORM INLET
 - STORM GRATE
 - CULVERT
 - TREE
 - CUT-RESTORE
- LINETYPES**
- CONDUIT-PERMITTED BY OTHERS
 - CONDUIT-PLOW
 - CONDUIT-TRENCH
 - CONDUIT-DIRECTIONAL BORE
 - RIGHT-OF-WAY
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
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 - UNDERGROUND ELECTRIC-EXISTING
 - TELEPHONE-EXISTING
 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STEAM-EXISTING
 - WATER-EXISTING
 - BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
 13074 ELKHORN CIRCLE BROOMFIELD, CO 80021
 PHONE: 303.448.1378

CDGC

DRAWN BY: BVL
 CHECKED BY: BVL
 APPROVED BY:

VIAERO
 Fiber Networks, LLC

1224 E. Platte Ave. P.O. Box 1470 Fort Morgan, CO 80701
 PHONE: 970-667-3142
 WWW.VIAERO.COM

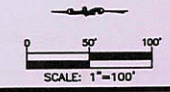
COLORADO 811
 CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN LOGAN COUNTY

PROJECT SHEET

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3)-1.25" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30"x48"x30" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30"x48"x30" 20K HH	1	



FILE NAME: 440-000-Buchanan-Logan-County-Renewal.dwg SHEET: 09 OF 26

DATE: 2/28/2022

DATE REVISION: 5/24/2022

SCALE: 1"=100'

PLOT DATE: 5/24/2022

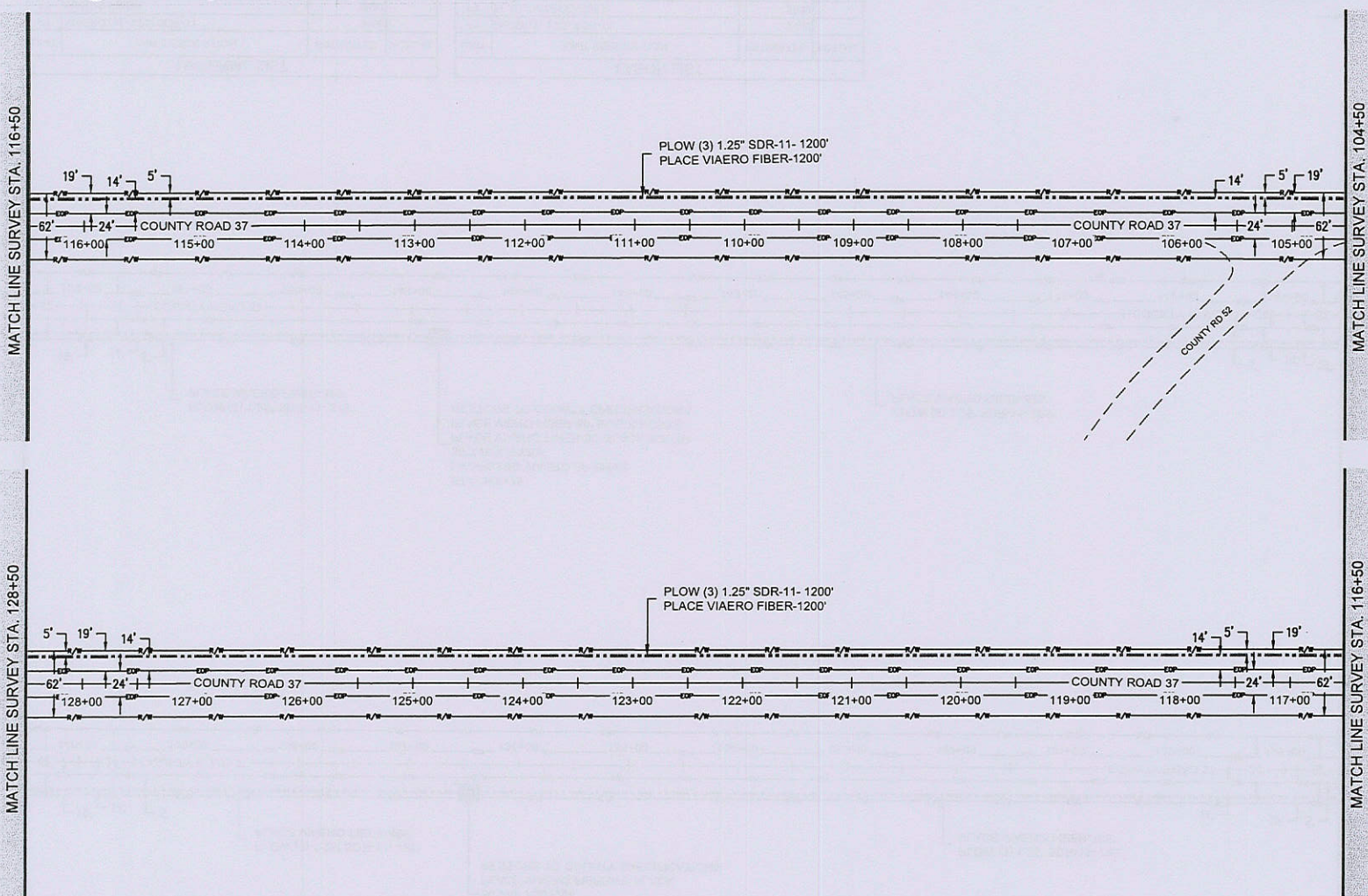
09

Viaero Fiber Networks LLC

Right of Way

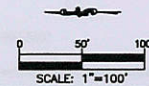
ROW2022-6 July 2022

Along County Road 50 & 37



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2400	



LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
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	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12374 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.448.1775

DRAWN BY: BVAL
CHECKED BY: BVAL
APPROVED BY:

VIAERO
Fiber Networks, LLC
1224 E. Platte Ave.
Fort Morgan, CO 80701
PH: 1-877-467-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

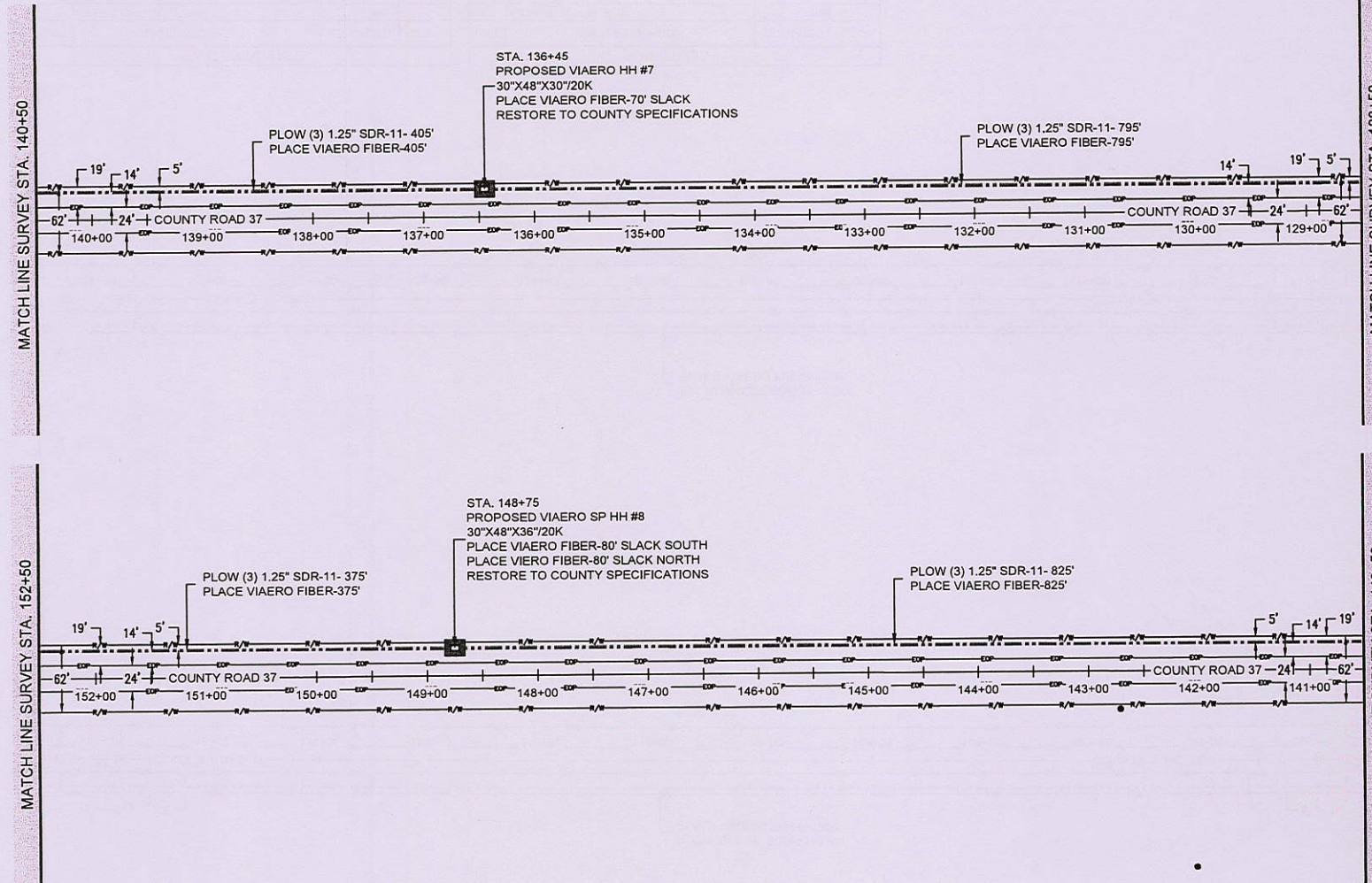
FILE NAME: padroni-buchanan-logan-county-fiber-networks.dwg
DATE: 3/28/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022
SHEET: 10 OF 26

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



- #### LEGEND
- STREET SIGN
 - ⊕ FIRE HYDRANT
 - WATER METER
 - ⊗ UTILITY VALVE
 - ⊗ UTILITY POLE
 - ⊗ UTILITY MANHOLE
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 - WATER-EXISTING
 - BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1274 ELKHORN CIRCLE BROOKFIELD, CO 80521
PHONE: 303.548.1379

DESIGN BY: EWL
CHECKED BY: EWL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 R. Platte Ave. Ft. Morgan, CO 80701 Ph: 1-877-687-3142 WWW.VIAERO.COM

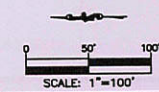
COLORADO 811
ONE CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN LOGAN COUNTY

PROJECT SHEET	
FILE NAME: Padroni to Buchanan Logan County Resale.dwg	SHEET: 11
DATE DRAWN: 2/28/2022	
DATE MODIFIED: 5/24/2022	
SCALE: 1"=100'	
PLOT DATE: 5/24/2022	SHEET: 11 OF 26

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2630	
EA	VIAERO 30"X48"X30" 20K HH	1	
EA	VIAERO 30"X48"X36" 20K SP HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2630	
EA	PLACE VIAERO 30"X48"X30" 20K HH	1	
EA	PLACE VIAERO 30"X48"X36" 20K SP HH	1	

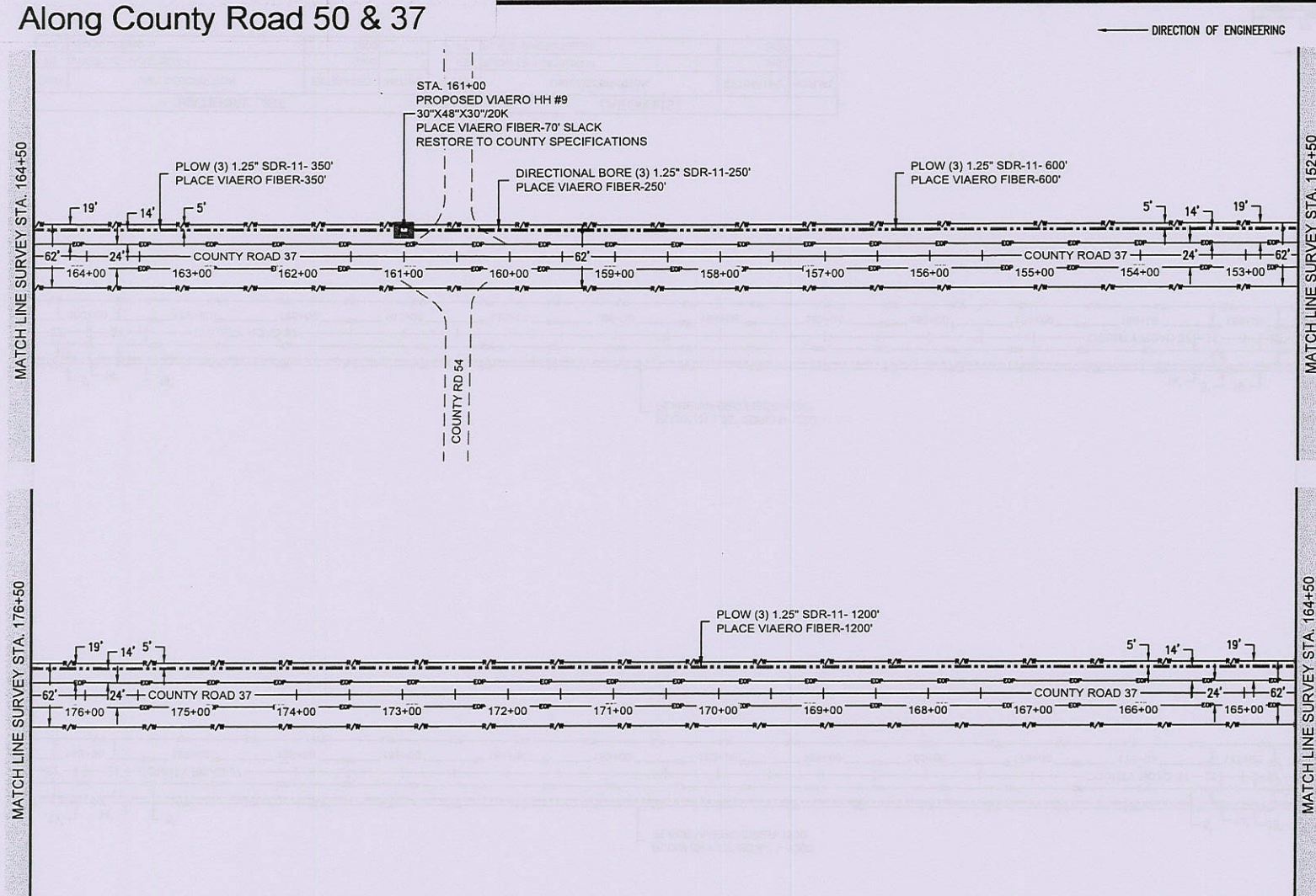


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3)-1.25" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30"X48"X30" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	250	
FT	PLOW (3) 1.25" SDR-11	2150	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30"X48"X30" 20K HH	1	

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1574 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.548.1373

DESIGN BY: BVAL
CHECKED BY: BVAL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 80701
Fort Morgan, CO 80701 PH: 970-667-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIGIT

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: padroni-buchanan-logan-county-restoration.dwg SHEET: 12

DATE: 3/29/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022 SHEET: 12 OF 26

0 50' 100'

SCALE: 1"=100'

Viaero Fiber Networks LLC

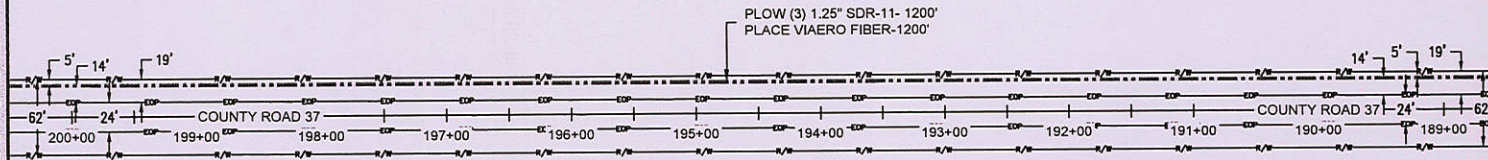
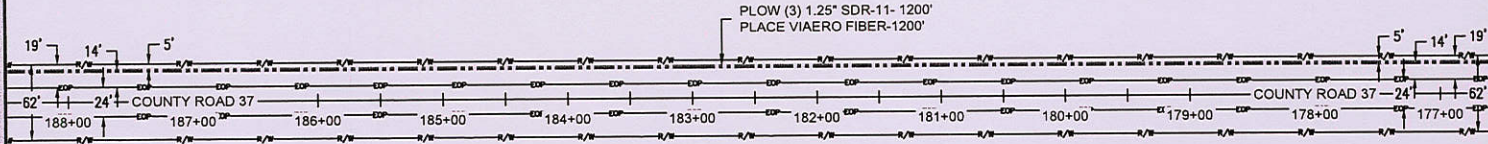
Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

MATCH LINE SURVEY STA. 188+50

MATCH LINE SURVEY STA. 200+50



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2400	

0 50' 100'
SCALE: 1"=100'

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12914 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.544.1373

DRAWN BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 E. Platte Ave. Fort Morgan, CO 80701 PH: 970-467-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: padroni-buchanan-logan-county-right-of-way.dwg
DATE CHARGED: 3/28/2022
DATE REVIEWED: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022

SHEET

13

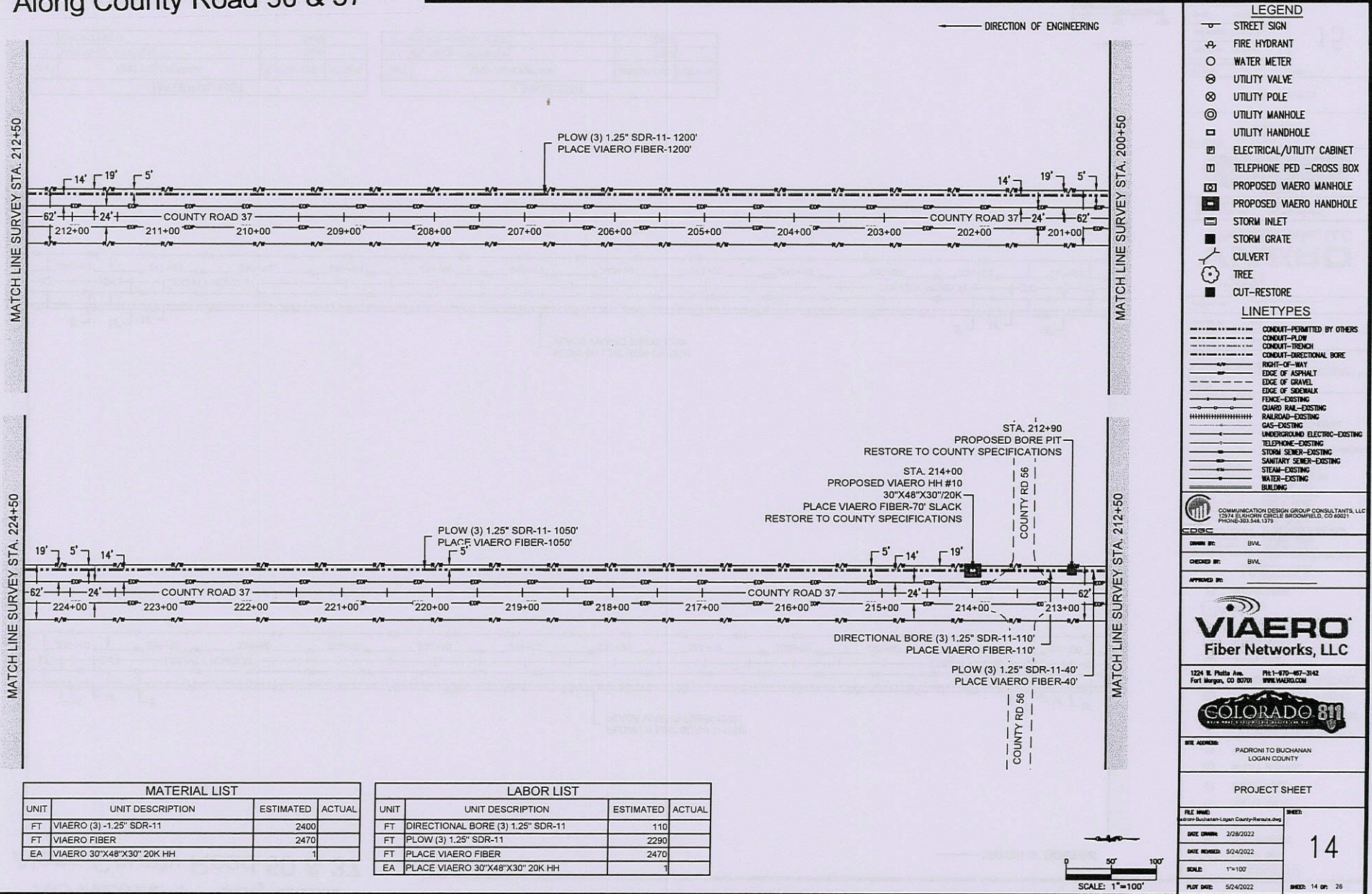
SHEET: 13 OF 25

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



Viaero Fiber Networks LLC

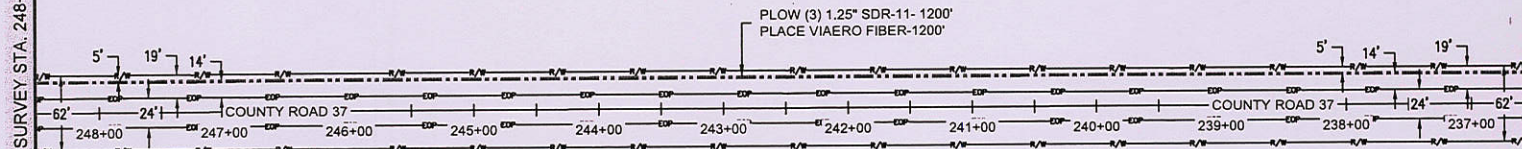
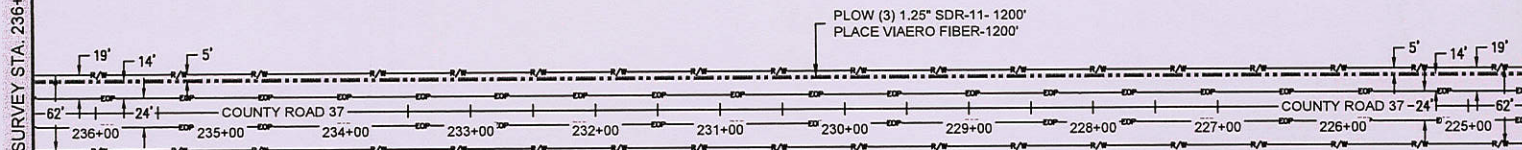
Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

MATCH LINE SURVEY STA. 236+50

MATCH LINE SURVEY STA. 248+50



← DIRECTION OF ENGINEERING

LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
	TELEPHONE PED - CROSS BOX
	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
	STORM GRATE
	CULVERT
	TREE
	CUT-RESTORE
LINETYPES	
	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-FLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
	RIGHT-OF-WAY
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
	FENCE-EXISTING
	GUARD RAIL-EXISTING
	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1374 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.344.1179

DRAWN BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 657-3142
Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: Padroni-Buchanan-Logan County-Herndon.dwg
DATE DRAWN: 2/28/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022
SHEET: 15 OF 26

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2400	

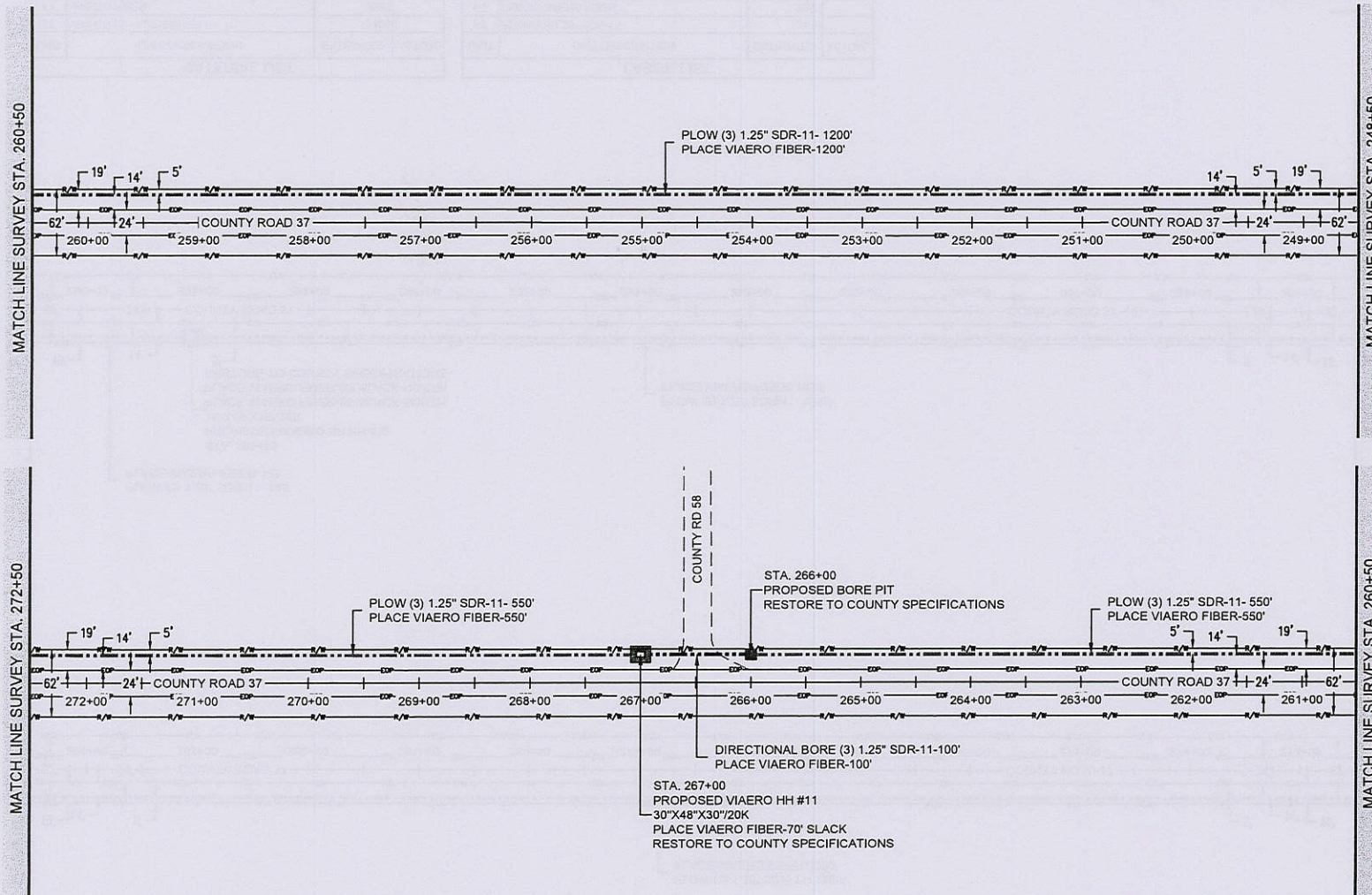
0 50' 100'
SCALE: 1"=100'

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



- #### LEGEND
- STREET SIGN
 - ⊕ FIRE HYDRANT
 - WATER METER
 - ⊗ UTILITY VALVE
 - ⊗ UTILITY POLE
 - ⊗ UTILITY MANHOLE
 - ⊗ UTILITY HANDHOLE
 - ⊗ ELECTRICAL/UTILITY CABINET
 - ⊗ TELEPHONE PED -CROSS BOX
 - ⊗ PROPOSED VIAERO MANHOLE
 - ⊗ PROPOSED VIAERO HANDHOLE
 - ⊗ STORM INLET
 - ⊗ STORM GRATE
 - ⊗ CULVERT
 - ⊗ TREE
 - ⊗ CUT-RESTORE
- #### LINETYPES
- CONDUIT-PERMITTED BY OTHERS
 - CONDUIT-PLOW
 - CONDUIT-TRENCH
 - CONDUIT-DIRECTIONAL BORE
 - RIGHT-OF-WAY
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - EDGE OF SIDEWALK
 - FENCE-EXISTING
 - GUARD RAIL-EXISTING
 - RAILROAD-EXISTING
 - GAS-EXISTING
 - UNDERGROUND ELECTRIC-EXISTING
 - TELEPHONE-EXISTING
 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STEAM-EXISTING
 - WATER-EXISTING
 - BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12374 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.444.1379

DRAWN BY: BVL

CHECKED BY: BVL

APPROVED BY: _____

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave.
Fort Morgan, CO 80701

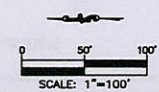
PH: 970-667-3142
WWW.VIAERO.COM

COLORADO 811
ANY PROJECT MUST BE REGISTERED WITH 811

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30"X48"X30" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	100	
FT	PLOW (3) 1.25" SDR-11	2300	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30"X48"X30" 20K HH	1	



PROJECT SHEET

FILE NAME: Padroni-Buchanan-Logan-County-Restore.dwg

DATE DRAWN: 2/28/2022

DATE REVISION: 5/24/2022

SCALE: 1"=100'

PLT DATE: 5/24/2022

SHEET: 16 OF 26

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

← DIRECTION OF ENGINEERING

MATCH LINE SURVEY STA. 284+50

MATCH LINE SURVEY STA. 272+50

MATCH LINE SURVEY STA. 296+50

MATCH LINE SURVEY STA. 284+50

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- RAILROAD-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1374 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.444.1379

OWNER: BVL
CHECKED BY: BVL
ATTACHED BY:

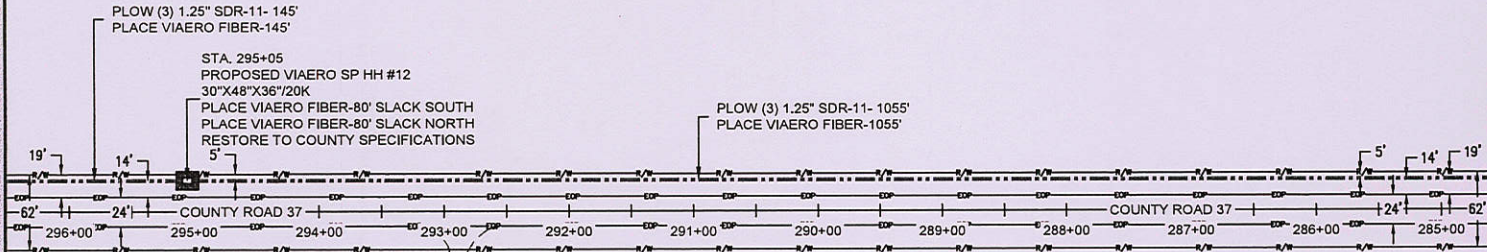
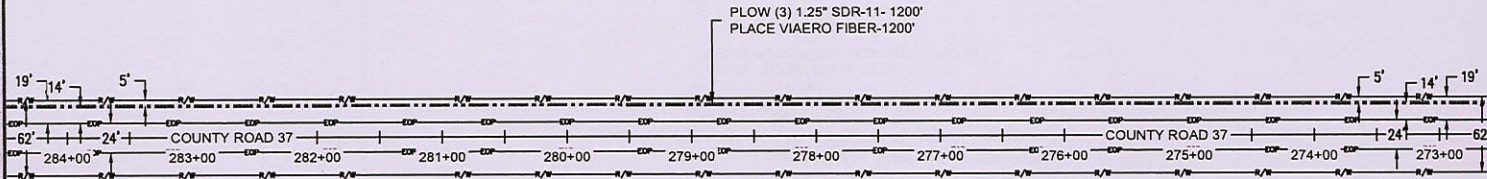
VIAERO
Fiber Networks, LLC
1224 N. Platte Ave. P.O. Box 147-342
Fort Morgan, CO 82701 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIGIT

FILE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: Padroni-Buchanan-Logan County-Roads.dwg
DATE: 2/28/2022
DATE: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022
SHEET: 17 OF 25

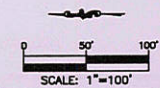


MATERIAL LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2560	
EA	VIAERO 30"X48"X36" 20K SP HH	1	

LABOR LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25" SDR-11	2400	
FT	PLACE VIAERO FIBER	2560	
EA	PLACE VIAERO 30"X48"X36" 20K SP HH	1	

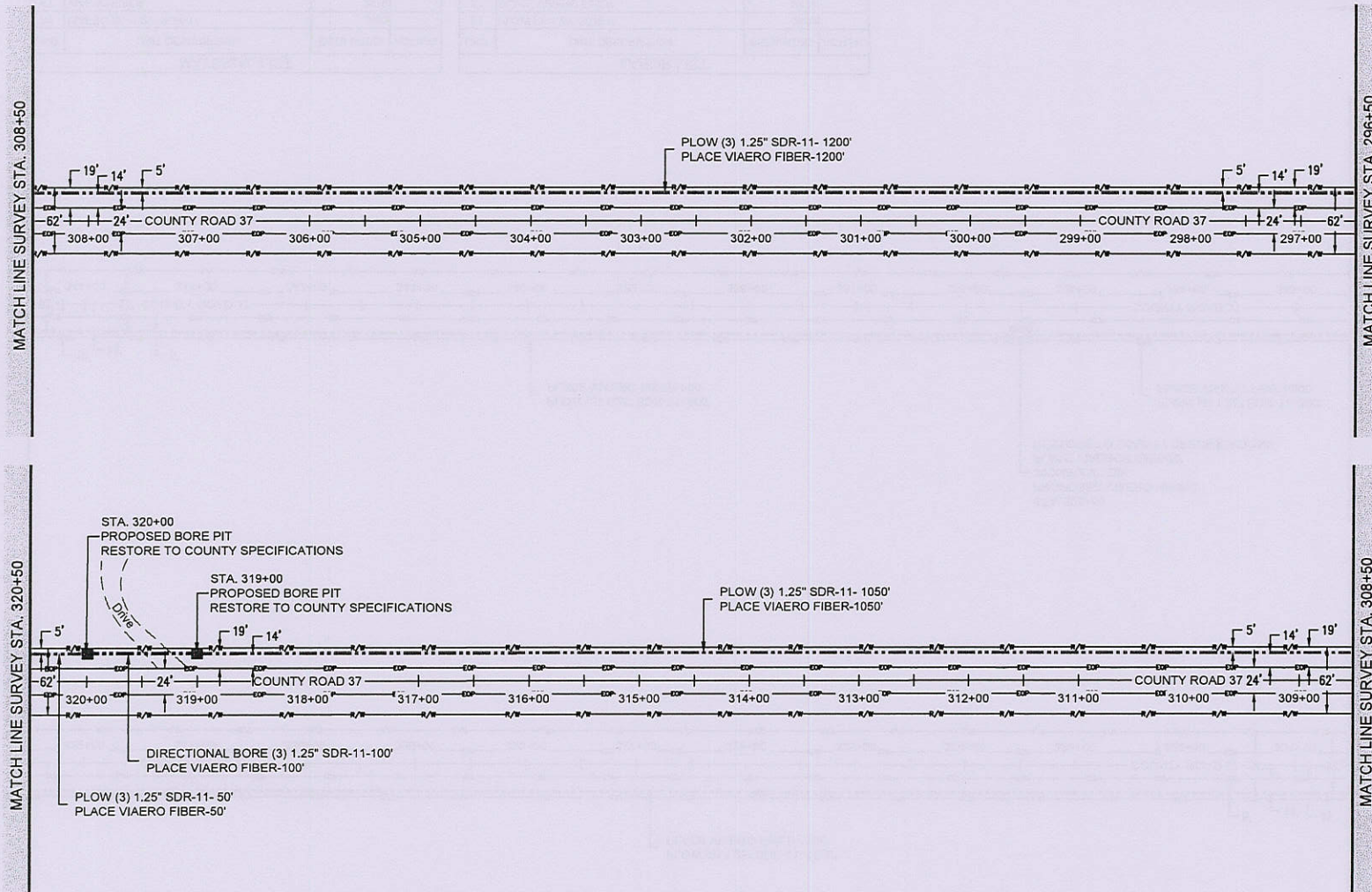


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12074 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.434.1373

DRAWN BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 107-3142
Fort Morgan, CO 80701 WWW.VIAERO.COM



SEE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME:
padroni-buchanan-logan-county-remed.dwg
DATE CHG: 3/28/2022
DATE REVISED: 5/24/2022
SCALE: 1"=100'
PLT DATE: 5/24/2022

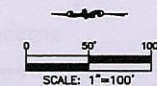
SHEET: 18 OF 26

MATERIAL LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST

UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	100	
FT	PLOW (3) 1.25" SDR-11	2300	
FT	PLACE VIAERO FIBER	2400	



Viaero Fiber Networks LLC

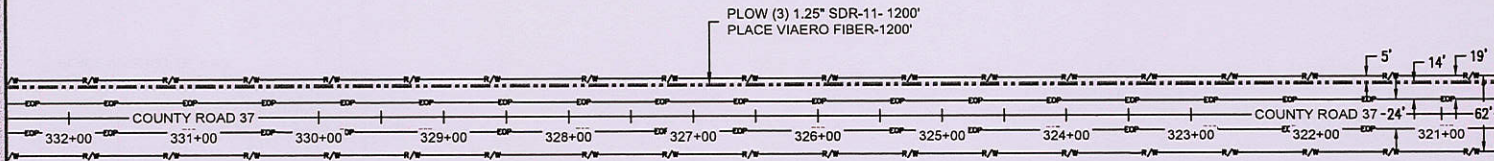
Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

MATCH LINE SURVEY STA. 332+50

MATCH LINE SURVEY STA. 344+50



STA. 335+50
PROPOSED VIAERO HH #13
30\"X48\"X30\"/20K
PLACE VIAERO FIBER-70'
RESTORE TO COUNTY SPECIFICATIONS

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25\" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30\"X48\"X30\" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	PLOW (3) 1.25\" SDR-11	2400	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30\"X48\"X30\" 20K HH	1	

← DIRECTION OF ENGINEERING

MATCH LINE SURVEY STA. 320+50

MATCH LINE SURVEY STA. 332+50

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
- UTILITY HANDHOLE
- ELECTRICAL/UTILITY CABINET
- TELEPHONE PED -CROSS BOX
- PROPOSED VIAERO MANHOLE
- PROPOSED VIAERO HANDHOLE
- STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-PLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
- TELEPHONE-EXISTING
- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1234 E. HIGHWAY CIRCLE BROOMFIELD, CO 80021
PHONE: 303.544.1179

DRAWN BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 970-877-3942
Fort Morgan, CO 80701 WWW.VIAERO.COM

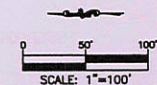
COLORADO 811
NATL. NATL. COORD. COUNCIL

SEE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: Padroni-Buchanan-Logan County-Roads.dwg
DATE SHOWN: 2/28/2022
DATE REVISION: 5/24/2022
SCALE: 1\"=100'
PLOT DATE: 5/24/2022

SHEET: 19 OF 26

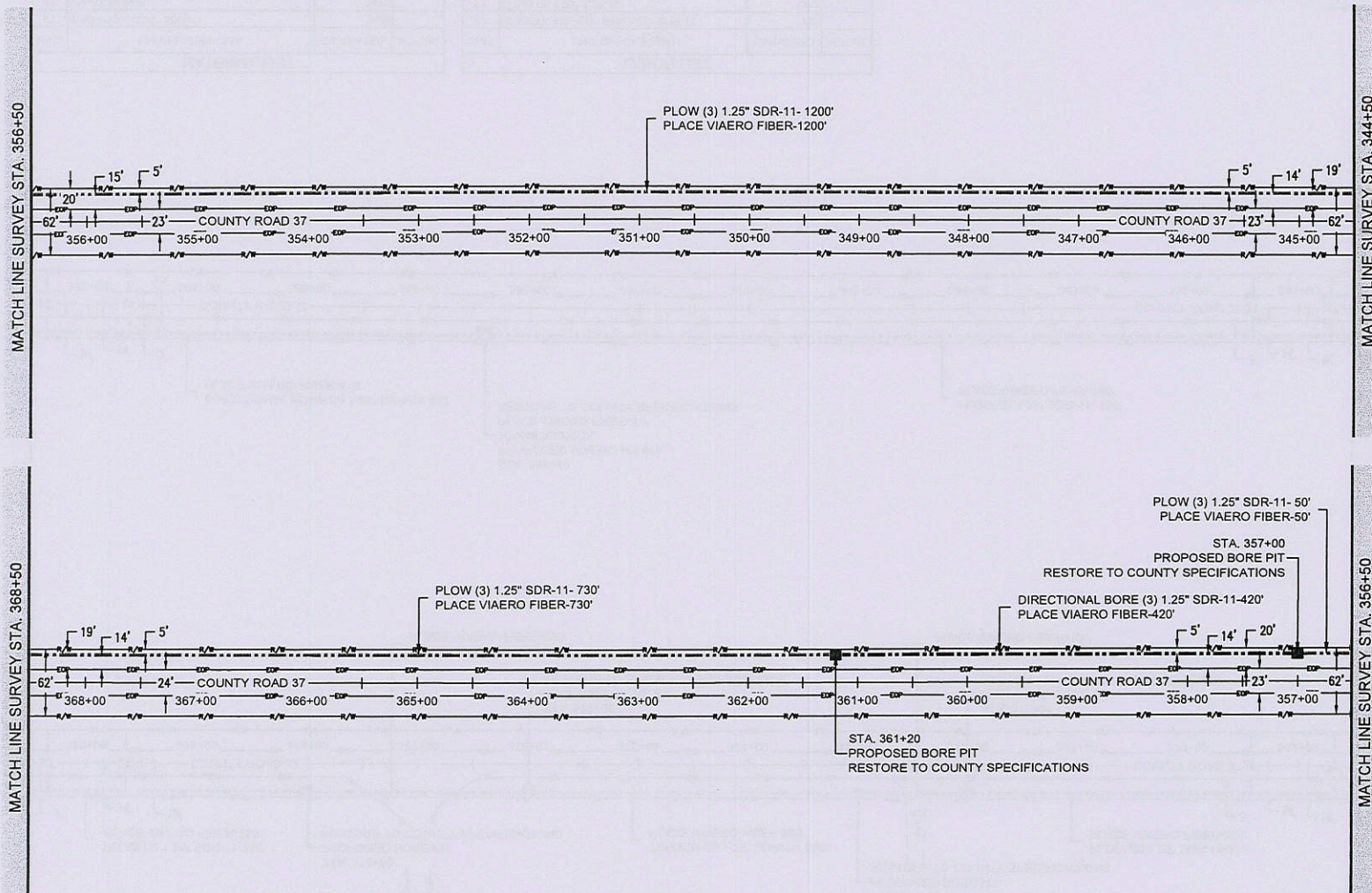


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
	TELEPHONE PED -CROSS BOX
	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
	STORM GRATE
	CULVERT
	TREE
	CUT-RESTORE
LINETYPES	
	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-FLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
	RIGHT-OF-WAY
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
	FENCE-EXISTING
	GUARD RAIL-EXISTING
	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
15974 ELKHORN CIRCLE, BROOMFIELD, CO 80021
PHONE: 303.548.1379

DESIGNED BY: BWL
CHECKED BY: BWL
APPROVED BY:

VIAERO
Fiber Networks, LLC
1224 N. Peoria Ave. Fort Morgan, CO 80701
PH: 1-877-467-3142
WWW.VIAERO.COM

COLORADO 811
BEFORE YOU DIG, CALL 811

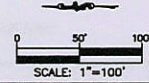
SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: c:\projects\2022\logan-county\row2022-6.dwg
DATE CHOWN: 2/28/2022
DATE REVISION: 5/24/2022
SCALE: 1"=100'
PLOT DATE: 5/24/2022
SHEET: 20 OF 26

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	420	
FT	PLOW (3) 1.25" SDR-11	1980	
FT	PLACE VIAERO FIBER	2400	

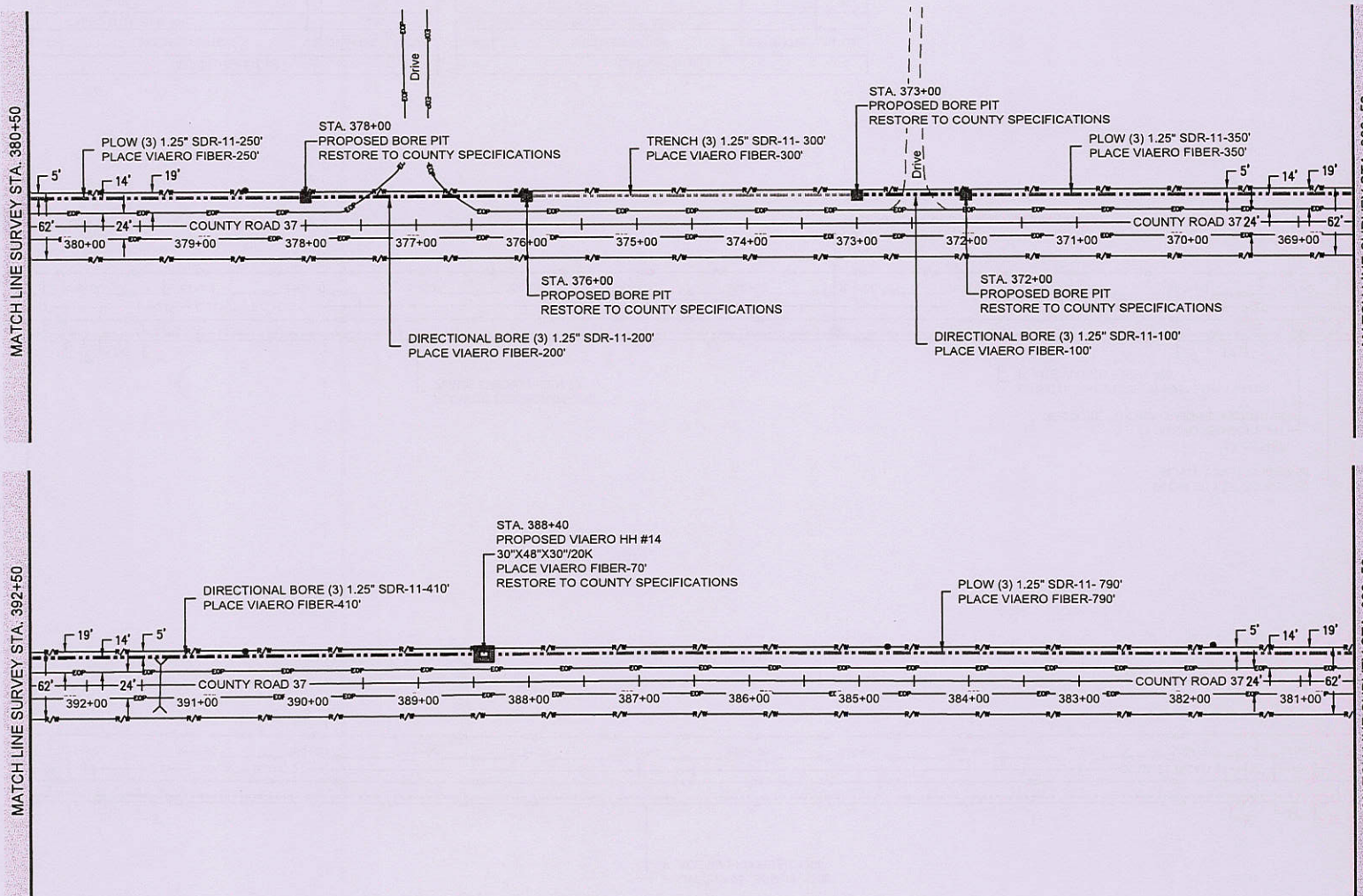


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



- #### LEGEND
- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - UTILITY VALVE
 - UTILITY POLE
 - UTILITY MANHOLE
 - UTILITY HANDHOLE
 - ELECTRICAL/UTILITY CABINET
 - TELEPHONE PED -CROSS BOX
 - PROPOSED VIAERO MANHOLE
 - PROPOSED VIAERO HANDHOLE
 - STORM INLET
 - STORM GRATE
 - CULVERT
 - TREE
 - CUT-RESTORE
- #### LINETYPES
- CONDUIT-PERMITTED BY OTHERS
 - CONDUIT-PLOW
 - CONDUIT-TRENCH
 - CONDUIT-DIRECTIONAL BORE
 - RIGHT-OF-WAY
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - EDGE OF SIDEWALK
 - FENCE-EXISTING
 - GUARD RAIL-EXISTING
 - RAILROAD-EXISTING
 - GAS-EXISTING
 - UNDERGROUND ELECTRIC-EXISTING
 - TELEPHONE-EXISTING
 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STEAM-EXISTING
 - WATER-EXISTING
 - BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1234 ELKHORN CIRCLE BROOKFIELD, CO 80021
PHONE: 303.544.1378

DRAWN BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

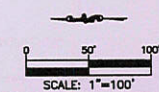
1224 E. Platte Ave.
Fort Morgan, CO 80701
PH: 1-877-467-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25\" SDR-11	2400	
FT	VIAERO FIBER	2470	
EA	VIAERO 30\"X48\"X30\" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25\" SDR-11	710	
FT	PLOW (3) 1.25\" SDR-11	1390	
FT	TRENCH (3) 1.25\" SDR-11	300	
FT	PLACE VIAERO FIBER	2470	
EA	PLACE VIAERO 30\"X48\"X30\" 20K HH	1	



PROJECT SHEET

FILE NAME: padroni-buchanan-logan-county-fiber.dwg
DATE DRAWN: 2/28/2022
DATE REVISED: 5/24/2022
SHEET: 21 OF 25

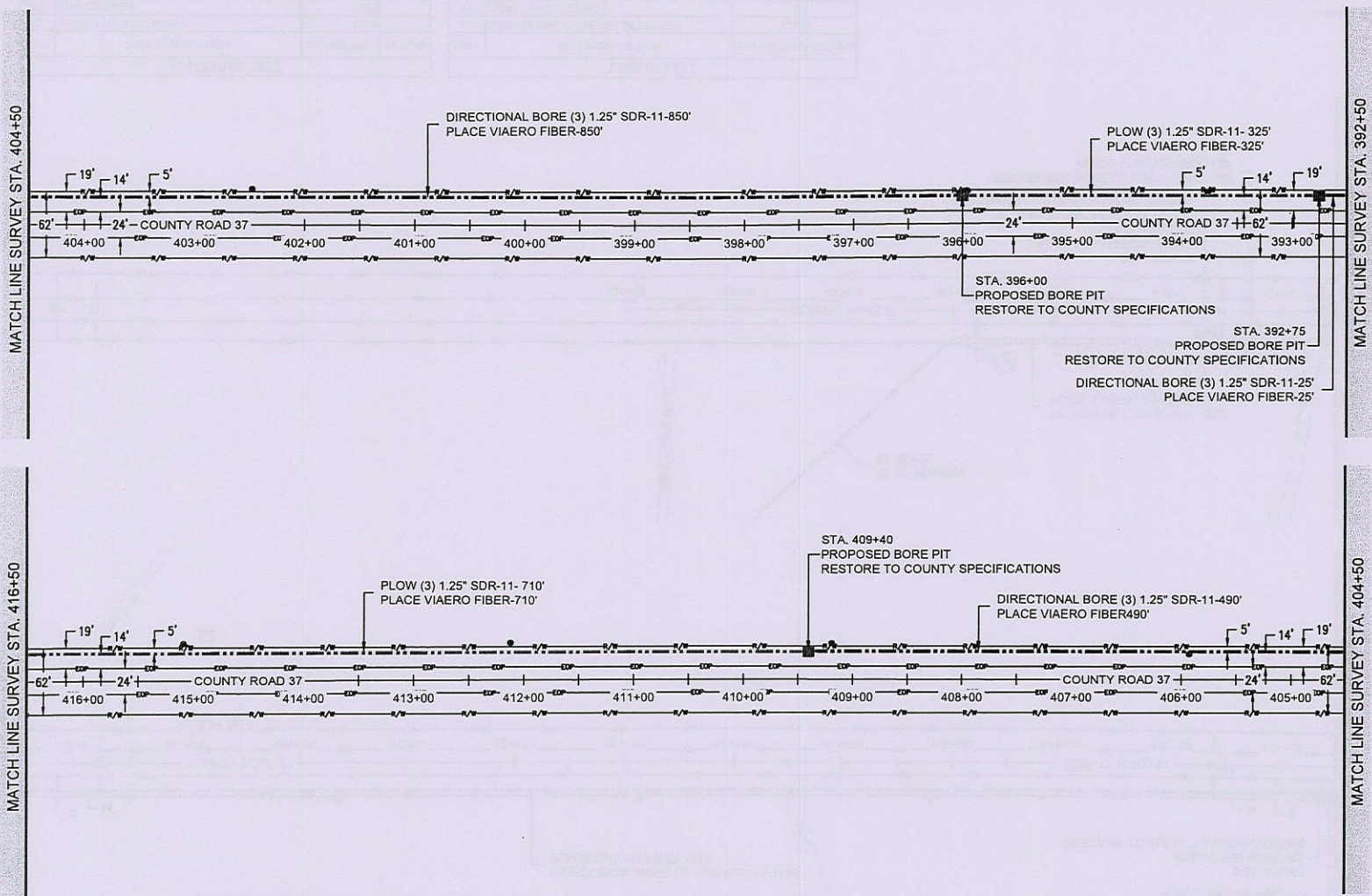
21

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) 1.25\" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25\" SDR-11	1365	
FT	PLOW (3) 1.25\" SDR-11	1035	
FT	PLACE VIAERO FIBER	2400	

- #### LEGEND
- STREET SIGN
 - FIRE HYDRANT
 - WATER METER
 - UTILITY VALVE
 - UTILITY POLE
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 - UTILITY HANDHOLE
 - ELECTRICAL/UTILITY CABINET
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 - STORM SEWER-EXISTING
 - SANITARY SEWER-EXISTING
 - STEAM-EXISTING
 - WATER-EXISTING
 - BUILDING

CDG
COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12974 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE 303.544.1319

DESIGN BY: BWL
CHECKED BY: BWL
APPROVED BY:

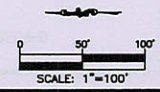
VIAERO
Fiber Networks, LLC
1224 N. Platte Ave. Fort Morgan, CO 80701
PHONE 970-407-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

PROJECT SHEET

FILE NAME: padroni-buchanan-logan-county-reroute.dwg
DATE: 2/28/2022
DATE REVISION: 5/24/2022
SCALE: 1\"/>

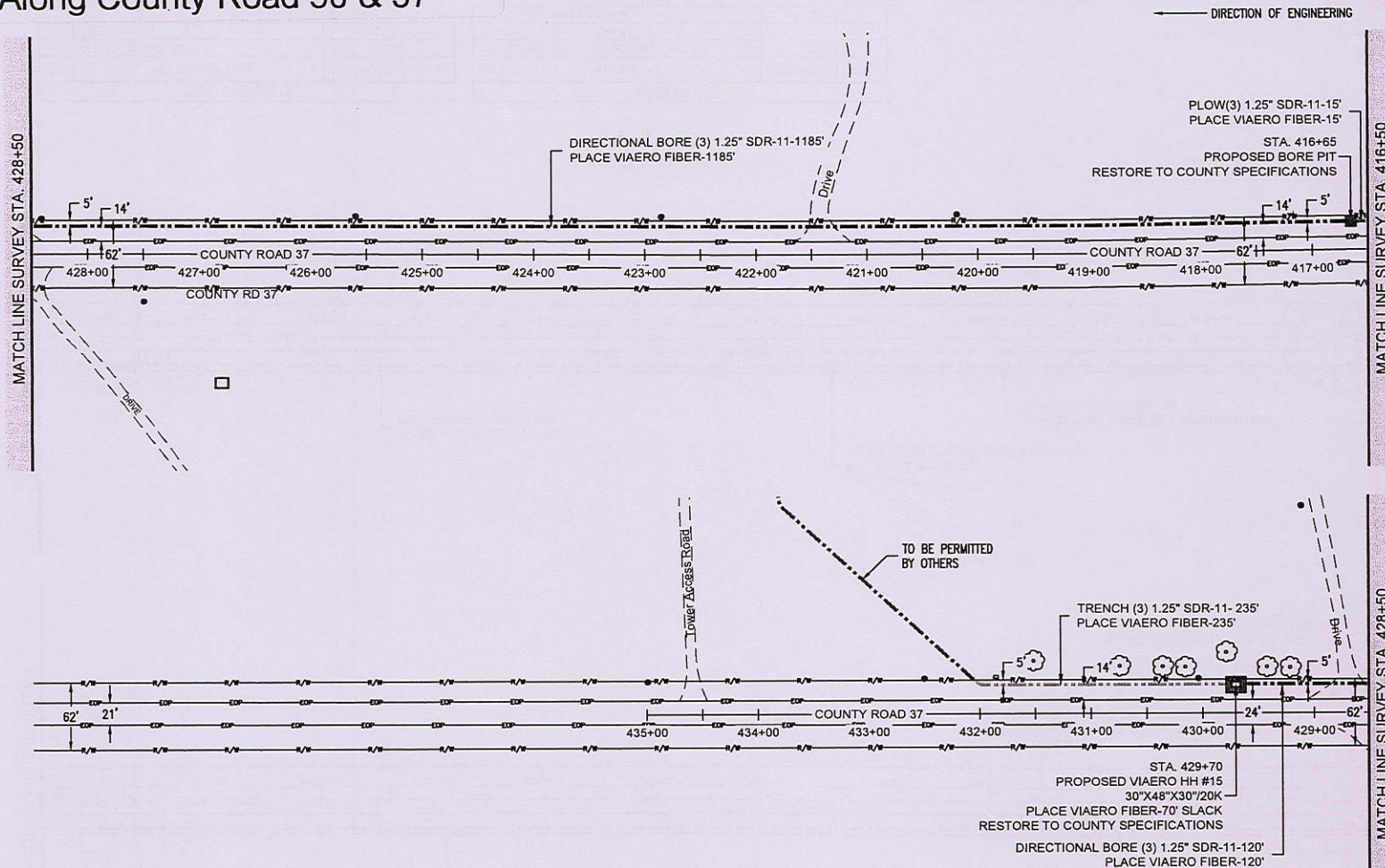


Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37



- #### LEGEND
- STREET SIGN
 - ⊕ FIRE HYDRANT
 - WATER METER
 - ⊗ UTILITY VALVE
 - ⊗ UTILITY POLE
 - ⊗ UTILITY MANHOLE
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 - WATER-EXISTING
 - BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1374 E. HIGHWAY 100, SUITE 100, FORT MORGAN, CO 80701
PHONE: 303.644.1379

VIAERO
Fiber Networks, LLC

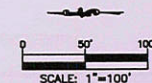
1224 R. Platte Ave. Ft. Morgan, CO 80701 PH: 1-877-872-3142 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN LOGAN COUNTY

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) -1.25" SDR-11	1555	
FT	VIAERO FIBER	1625	
EA	VIAERO 30"X48"X30" 20K HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	1305	
FT	PLOW (3) 1.25" SDR-11	15	
FT	TRENCH (3) 1.25" SDR-11	235	
FT	PLACE VIAERO FIBER	1625	
EA	PLACE VIAERO 30"X48"X30" 20K HH	1	



PROJECT SHEET	
FILE NAME: 2022-06-01-Buchanan-Logan-County-Roads.dwg	SHEET: 23
DATE DRAWN: 2/28/2022	
DATE REVISION: 5/24/2022	
SCALE: 1"=100'	
PLANT DATE: 5/24/2022	SHEET: 23 OF 26

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

All work shall be performed in accordance with the Design and Construction Standards of Logan County and shall be completed to the satisfaction of the County Engineer. In the event that a design element does not reflect County specifications the matter must immediately be brought to the attention of the Viaero Fiber Networks LLC and the County Engineer. The design engineer shall be responsible for recommending a solution or alternative solutions to the County for review and approval.

- (A) The approval of an engineering construction drawing does not relieve the owner-developer-contractor of the responsibility of constructing workable public improvements. All revisions and/or corrections required will be solely the owner's-developer's-contractor's responsibility, and at their expense.
- (B) These plans have been checked by the County only for conformance with the Design and Construction Standards, compliance with development agreement conditions and for general conceptual approval of public improvements as shown. No detailed mathematical check was made for the accuracy of existing or proposed dimensions, lines or grades shown, including all existing utilities shown or not shown.
- (C) Utility locations shown reflect available record data. The contractor shall take precautionary measures to protect all utility lines shown and other utility lines otherwise located. The contractor shall notify the County Utilities Division and private utility companies 24 hours prior to beginning construction.
- (D) Before work begins, the contractor shall obtain a permit to work in the right-of-way from County Engineering Support Services and must notify the County right-of-way inspection staff 24 hours in advance of commencing construction activities.
- (E) The owner-developer shall provide the contractor with a complete and updated set of engineering construction drawings. These drawings, and any required permits, shall be at the site at all times and shall be make available to County staff upon request. If no plans appear on the project site, construction activities may be halted at the discretion of the County Engineer, or a designated representative.
- (F) The contractor agrees to comply with the provisions of the ATSSA Guide for Work Area Traffic Control and the Manual of Uniform Traffic Control Devices for construction signage.
- (G) All surplus materials, tools, and the temporary structures, furnished by the contractor, shall be removed from the project site by the contractor. All debris and rubbish caused by the operations of the contractor shall be removed, and the area occupied during construction activities shall be restored to its original condition, within 72 hours of project completion, unless otherwise directed by the County Engineer.

TELECOMMUNICATION FACILITY STANDARDS

- (H) The following standards shall apply to all telecommunication related facilities constructed within the County's right-of-way including local telephone, long distance telephone, cable TV, and other telecommunication services franchised or otherwise permitted by the County. All telecommunications facilities constructed in the County's right-of-way shall be underground unless otherwise permitted by the County Engineer.

GENERAL

- (I) All telecommunications facilities construction shall conform to the requirements of the following standards:

- (1) American National Standards Institute, Inc. (ANSI), Electronic Industries Association (EIA), and Telecommunications Institute of America (TIA) Standards: EIA/TIA Standards Proposal No. 2840-A, Proposed Revision of EIA/TIA-568 (if approved to be published as EIA/TIA-568-A), EIA/TIA-569 Commercial Building Standard for Telecommunications Pathways and Spaces, and TIA/EIA-607 Commercial Building Grounding and Bonding Requirements for Telecommunications.
- (2) 1993 National Electrical Safety Code (NESC) C2-1993, published by the Institute of Electrical and Electronics Engineers (IEEE), Inc.
- (3) National Electrical Code (NEC), published by the National Fire Association (NFPA).
- (4) Federal Communications Commission
- (5) Nebraska Public Service Commission
- (6) Williams-Steiger Occupational Safety and Health Act (OSHA)
- (7) detailed 1 inch = 100 feet scale engineering drawings presenting the specific conduit routing and associated Hand-hole locations and specifications, shall be submitted to the County Engineer's office for review and approval. Underground Cable Protection
- (8) All buried telecommunications cable, shall be installed in conduit, SDR/11 or equivalent

Depth of Cover

- A. The minimum depth of cover over the conduit shall be 48 inches. Trench Specifications -Roadway and Other Paved Surfaces
- B. All trenches shall be open cut unless otherwise permitted by the County.
- C. Trenches shall have a minimum width of 6 inches.
- D. Trench backfill shall be flowable fill specified as a 0.6 sack mix in these standards.

LEGEND

- STREET SIGN
- FIRE HYDRANT
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- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1234 E. BLANKENHORN CIRCLE, BROOMFIELD, CO 80021
PHONE: 303.344.1379

DESIGN BY: BVL
CHECKED BY: BVL
APPROVED BY: _____

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave.
Fort Morgan, CO 80701
PH: 1-877-467-3142
WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIG

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

NOTE SHEET

FILE NAME: padroni-buchanan-logan-county-fiber-networks.dwg
DATE DRAWN: 2/8/2022
DATE REVISION: 5/24/2022
SHEET: 24
PLOT DATE: 5/24/2022
SHEET: 24 OF 26

Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

Along County Road 50 & 37

PROJECT NOTES

E Vertical and horizontal separations between telecommunications facilities and other facilities shall be maintained as required by the NESC Section 32 Underground Conduit Systems. Conduit systems for telecommunications facilities shall be separated from conduit systems for power supply systems by:

- 1) 3 inches of concrete
 - 2) 4 inches of masonry
 - 3) 12 inches of well-tamped earth Warning Tape
- A) detectable orange colored cable warning tape shall be placed 12 to 18 inches above, the conduit in the trench.

Hand-Holes

- 1 All cavities required for cable pulling purpose shall be constructed as load bearing Hand-holes.
 - 2 Hand-holes shall be placed at a maximum spacing of 4200 feet in rural areas as specified by Viaero Fiber Networks LLC. In no case shall conduit bend radius exceed 180 degrees between Hand-holes. Hand-Holes shall be installed at each street intersection when future growth is anticipated.
 - 3 Handholes shall be 30"x48"x24"/20K or 30"x48"x36" precast composite concrete and shall be placed Within 5' of the Logan County Right-of-Way.
- A) Parallel separations are required to satisfy standards for utility trenching excavations and to provide for adequate maintenance operations. All crossings of natural and improved drainage ways, and irrigation ditches, shall meet the following conditions:
- B) Telecommunications conduit shall be placed a minimum 48 inches below the invert of the drainage way or ditch. This minimum depth of cover shall apply whether or not the drainage way is an open system or contained within a culvert.
- C) The telecommunications conduit shall consist of SDR/11 When the drainage way or ditch is an open system, contractor shall bore said drainage way or ditch at a 6" depth below the bottom of said drainage way or ditch and shall extend a minimum horizontal distance of 10 feet beyond each side of the drainage way, measured from top of bank to top of bank.

LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
- UTILITY VALVE
- UTILITY POLE
- UTILITY MANHOLE
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- TELEPHONE PED -CROSS BOX
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- STORM GRATE
- CULVERT
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LINETYPES

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- RIGHT-OF-WAY
- EDGE OF ASPHALT
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- STORM SEWER-EXISTING
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COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1374 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.488.1779

DRAWN BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 E. Platte Ave. Ft. Morgan, CO 80701 PH: 1-877-467-3142 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIGIT

SITE ADDRESS: PADRONI TO BUCHANAN
LOGAN COUNTY

NOTE SHEET

FILE NAME: padroni-buchanan-logan-county-berndt.dwg SHEET: 25
DATE DRAWN: 3/28/2022
DATE REVISION: 5/24/2022
SCALE: —
PLOT DATE: 5/24/2022 SHEET: 25 OF 26

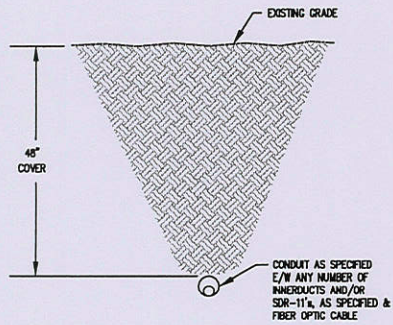
Viaero Fiber Networks LLC

Right of Way

ROW2022-6 July 2022

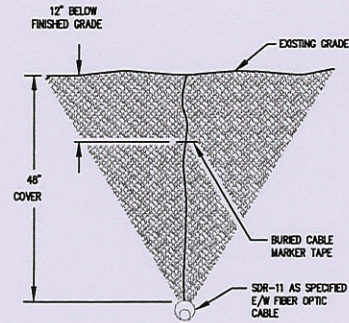
Along County Road 50 & 37

TYPICAL DETAIL "A"
PLACE CROSS SECTION FOR CONDUIT

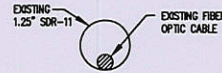


NOTE:
ALL SDR-11 USED FOR VIAERO CABLE
WILL BE TERRA-COTTA ORANGE IN
COLOR AND MANUFACTURED IN
ACCORDANCE WITH ASTM D-3035.

TYPICAL DETAIL "B"
PLACE SDR-11

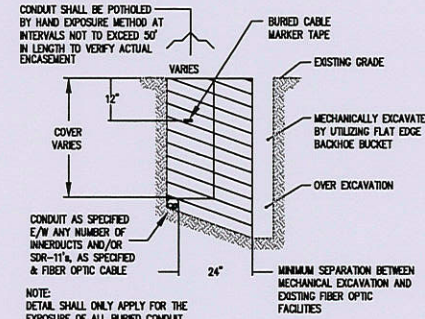


TYPICAL DETAIL "C"
CROSS SECTION OF EXISTING SDR-11



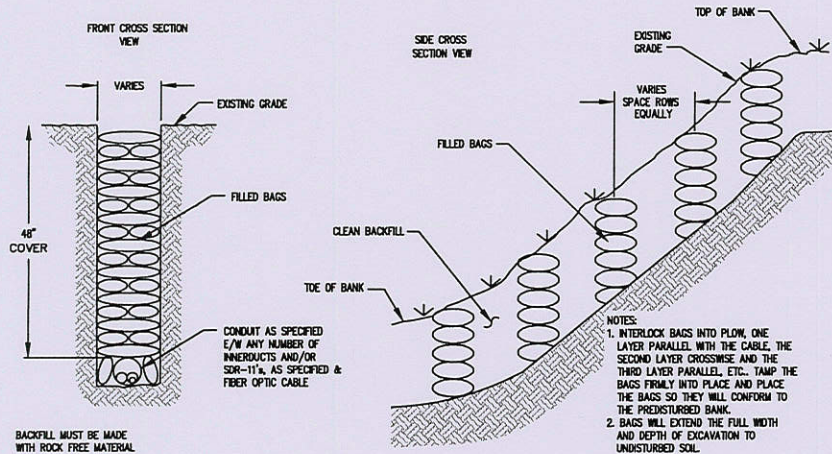
TYPICAL DETAIL "D"

EXPOSE CONDUIT BY POTHOLE/SIDE EXPOSURE METHOD



NOTE:
DETAIL SHALL ONLY APPLY FOR THE
EXPOSURE OF ALL BURIED CONDUIT,
WHICH SHALL INCLUDE SDR-11

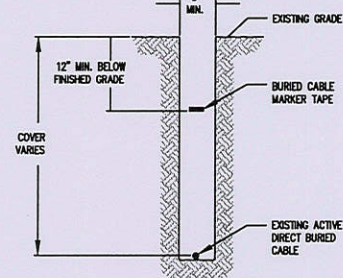
TYPICAL DETAIL "E"
FLOW EROSION CONTROL



NOTES:
1. INTERLOCK BAGS INTO PLOW, ONE
LAYER PARALLEL WITH THE CABLE, THE
SECOND LAYER CROSSWISE AND THE
THIRD LAYER PARALLEL, ETC. TAMP THE
BAGS FIRMLY INTO PLACE AND PLACE
THE BAGS SO THEY WILL CONFORM TO
THE PREEXISTING BANK.
2. BAGS WILL EXTEND THE FULL WIDTH
AND DEPTH OF EXCAVATION TO
UNDISTURBED SOIL.

TYPICAL DETAIL "F"

EXPOSE DIRECT BURIED CABLE BY HAND EXPOSURE METHOD



LEGEND

- STREET SIGN
- FIRE HYDRANT
- WATER METER
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COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
12674 BUCKHORN CIRCLE, BROOMFIELD, CO 80021
PHONE: 303.544.1379

DESIGNED BY: BVL
CHECKED BY: BVL
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. Fort Morgan, CO 80701 PH: 970-467-3942 WWW.VIAERO.COM

COLORADO 811
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PROJECT ADDRESS: PADRONI TO BUCHANAN LOGAN COUNTY

DETAIL SHEET

FILE NAME: padroni-buchanan-logan-county-fiber-networks.dwg
DATE: 3/28/2022
DATE REVISION: 5/24/2022
SHEET: 26
PLOT DATE: 5/24/2022
SHEET: 26 OF 26

AGREEMENT TO USE LOGAN COUNTY RIGHT OF WAY
INDIVIDUAL PERMIT

THIS AGREEMENT made this (County fills in) _____ day of _____, 2022, by and between the County of Logan, State of Colorado, hereinafter called "County", and Viaero Fiber Networks, LLC the undersigned easement holder or landowner, hereinafter called "Applicant".

WHEREAS, Applicant owns the following described premises, or has an easement on, over or through said premises, to-wit (legal description): West side of CR 43 in Logan County, Railroad Ave and McKinley St in Town of Padroni; and

WHEREAS, Applicant desires to install and construct a Fiber optic line, which will be located (Circle One): along, bore under, or trench across County Road 43 in Logan County, Railroad Ave and McKinley St in Town of Padroni, to benefit the above described premises; and

WHEREAS, the County is willing to allow such installation and construction by Applicant, but only upon the terms and covenants contained herein.

NOW, THEREFORE, in consideration of paying the County the sum of \$100.00 or \$200.00 and keeping of the terms and covenants contained herein, the parties agree as follows:

- ☐ Applicant agrees to furnish the County in writing in advance of installation the exact location and dimensions of said installation and construction.
- ☐ Buried installations must be at no less than 48 inches below the lowest level of any borrow ditch paralleling the County Road and an "Individual permit" must be submitted for each instance.
- ☐ Applicant shall have the right to install and construct conduit, hand holes and fiber optic cable, described above, in the right of way of CR 43, Railroad Ave, McKinley St, but such installation and construction shall be done only in the following manner. All work within the county ROW shall be performed only during regular business hours of the Logan County Road & Bridge Department to enable supervision and inspection of the work.
- ☐ All work authorized by this Agreement shall be completed no later than December 31, 2022.
- ☐ It is understood that no paved or oil-surfaced road shall be cut and will be crossed by boring only. For other roads and crossings of County property after installation. Applicant shall restore the surface to the same condition as existed prior to such construction.
- ☐ All cost and expense of installation, construction, maintenance, removal, or replacement is to be paid by the Applicant.
- ☐ The traveling public must be protected during this installation with proper warning signs or signals both day and night. Warning signs and signals shall be installed by and at the expense of Applicant.

Viaero Fiber Networks LLC
Right of Way
ROW2022-7 July 2022
Along County Road 43, Railroad Av.
& McKinley St

- ☐ Applicant hereby releases the County from any liability for damages caused by said construction and installation of fiber optic, whether caused by employees or equipment of the County, or others, at any time. Further, Applicant agrees to protect, save and hold harmless, and indemnify the County from and against all liability, loss, damages, personal injuries or expenses suffered by or imposed against the County by reason of the construction, installation or maintenance of the above described improvement.
- ☐ No perpetual easement or right of way is granted by this instrument and should Applicant's use of said right-of-way interfere with the County's use, or intended use of said right-of-way, Applicant will remove or relocate the same upon demand of the County. Applicant shall pay all costs of such removal or relocation.
- ☐ This Agreement shall be a covenant running with the above-described real property and shall be binding upon the parties hereto, their heirs, successors, personal representatives, and assigns.
- ☐ Other Provisions: _____

Note: Applicants in the process of acquiring a Conditional Use Permit or a Special Use Permit - If easements containing signatures have been obtained and are in hand for the appropriate permit, then the landowner signatures required below can be waived.

Owner #1 _____ Printed Name _____ Signature _____

Owner #2 _____ Printed Name _____ Signature _____

Individual Right-of-Way Permit Applicant:

Ron Christensen, President

Printed name

Signature

Address: 1201 W Platte Ave
Fort Morgan, CO 80701

Application Fee Paid _____

Date 03/23/2022

Signed at Sterling, Colorado the day and year first above written.

**THE BOARD OF COUNTY COMMISSIONERS
LOGAN COUNTY, COLORADO**

Byron H. Pelton (Aye) (Nay)

Joseph A. McBride (Aye) (Nay)

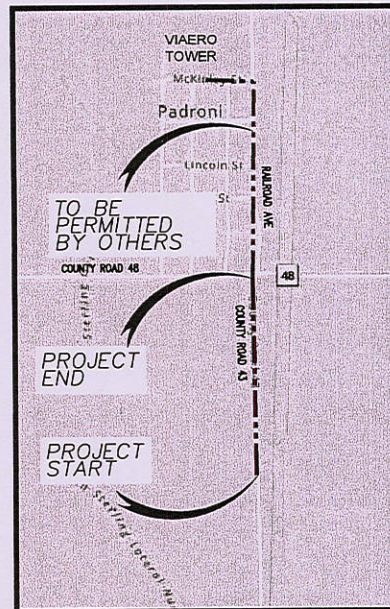
Jane E. Bauder (Aye) (Nay)

Viaero Fiber Networks LLC
Right of Way
ROW2022-7 July 2022
Along County Road 43, Railroad Av.
& McKinley St

VIAERO FIBER NETWORKS, LLC CONSTRUCTION PLANS PADRONI TO OPTK LOGAN COUNTY SET

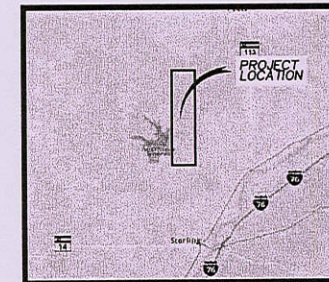
CONSTRUCTION NOTES:

1. CONTRACTOR MUST HAVE A COPY OF THE APPROVED PERMIT FROM THE APPROPRIATE AGENCIES ON THE JOBSITE AT ALL TIMES.
2. ALL WORK IS TO BE IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION IN THE WORK ZONE.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, QUANTITIES, AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. CONTRACTOR MUST OBTAIN LOCATES AND POTHOLE ALL UTILITIES ALONG THE PLANNED RUNNING LINE PRIOR TO CONSTRUCTION.
5. THE UTILITY SIZE AND EXACT LOCATION CROSSING THE PROPOSED RUNNING LINE SHALL BE DETERMINED DURING THE POTHOLE PROCESS AND NOTED ON THE CONSTRUCTION DRAWINGS.
6. CONTRACTOR IS RESPONSIBLE FOR DETERMINING LOCATION AND AVOIDING ALL CONFLICTS WITH EXISTING UTILITIES.
7. ALL CABLE IS TO BE PLACED AT THE VIAERO STANDARD MINIMUM DEPTH OF 48".
8. ANY DISTURBED LANDSCAPING IS TO BE REPLACED TO EQUAL OR BETTER THAN THAT WHICH EXISTED PRIOR TO WORK.
9. ALL WORK IS TO BE PROPERLY BACKFILLED PRIOR TO END OF WORKDAY. NO OPEN TRENCHES ARE ALLOWED OVERNIGHT.
10. NO CONSTRUCTION ON PRIVATE PROPERTY IS TO COMMENCE UNTIL EASEMENT IS GRANTED IN WRITING BY VIAERO.
11. IN AREAS WHERE PROPOSED WORK IS IN CLOSE PROXIMITY TO EXISTING RIGHTS-OF-WAYS AND/OR PROPERTY LINES, CONTRACTOR IS RESPONSIBLE FOR LOCATING SAID LINES AND AVOIDING ENCROACHMENT ONTO UNAUTHORIZED PROPERTY.
12. THESE PLANS ARE PRESENTED IN A PERFORMANCE SPECIFICATION FORMAT. BIDDING CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.
13. CONTRACTORS ARE ADVISED TO CONTACT VIAERO FIBER NETWORKS, LLC FOR ANY ADDITIONAL INFORMATION OR CLARIFICATION CONCERNING SCOPE OF WORK OR THE REQUIREMENTS NECESSARY FOR PROJECT COMPLETION.



Project Map
NOT TO SCALE

WORK PLAN INDEX	
SHEET	DRAWING NAME
01	COVER SHEET
02-04	PROJECT SHEET
05-06	PROJECT NOTES
07	PROJECT DETAILS



Vicinity Map
NOT TO SCALE

CONTACT INFORMATION:

VIAERO FIBER NETWORKS, LLC
RON CHRISTENSEN PH: 970-467-3142

CDGC
BERRY LONG PH: 303-548-1379

GENERAL NOTES:

1. RUNNING LINE PLAN COLOR INDICATES:
VICINITY MAP: BLACK = FOR ROUTE ONLY
PLAN SHEETS: RED = DIRECTIONAL BORE
PLAN SHEETS: GREEN = PLOW
PLAN SHEETS: ORANGE = TRENCH

SCOPE OF WORK:
THIS PROJECT IS PROPOSED TO CONSTRUCT CONDUITS UNDERGROUND WITHIN THE LOGAN COUNTY. START AT THE OPTK HANDHOLE ALONG COUNTY ROAD 43 THEN, PROCEED NORTH ON COUNTY ROAD 43 TO THE PADRONI TOWN LIMITS. PLEASE REFERENCE PROJECT MAP THIS SHEET FOR CLARITY. THIS PROPOSED PROJECT IS APPROXIMATELY 2845' IN LENGTH.

MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) - 1.25" SDR-11	2845	
FT	VIAERO FIBER	2925	
EA	VIAERO 30"X48"X36"/20K SP HH	1	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	1245	
FT	TRENCH (3) 1.25" SDR-11	1600	
FT	PLACE VIAERO FIBER	2925	
EA	VIAERO 30"X48"X36"/20K SP HH	1	

LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
	TELEPHONE PED - CROSS BOX
	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
	STORM GRATE
	CULVERT
	TREE
	CUT-RESTORE

LINETYPES	
	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-PLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
	RIGHT-OF-WAY
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
	FENCE-EXISTING
	GUARD RAIL-EXISTING
	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1294 ELKHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.348.1379

DRAWN BY: CHRIS MANN
CHECKED BY: BERRY LONG
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 E. Platte Ave. Fort Morgan, CO 80701 PH: 970-467-3142
WWW.VIAERO.COM

COLORADO 811
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SITE ADDRESS: PADRONI TO OPTK
LOGAN COUNTY SET

COVER SHEET

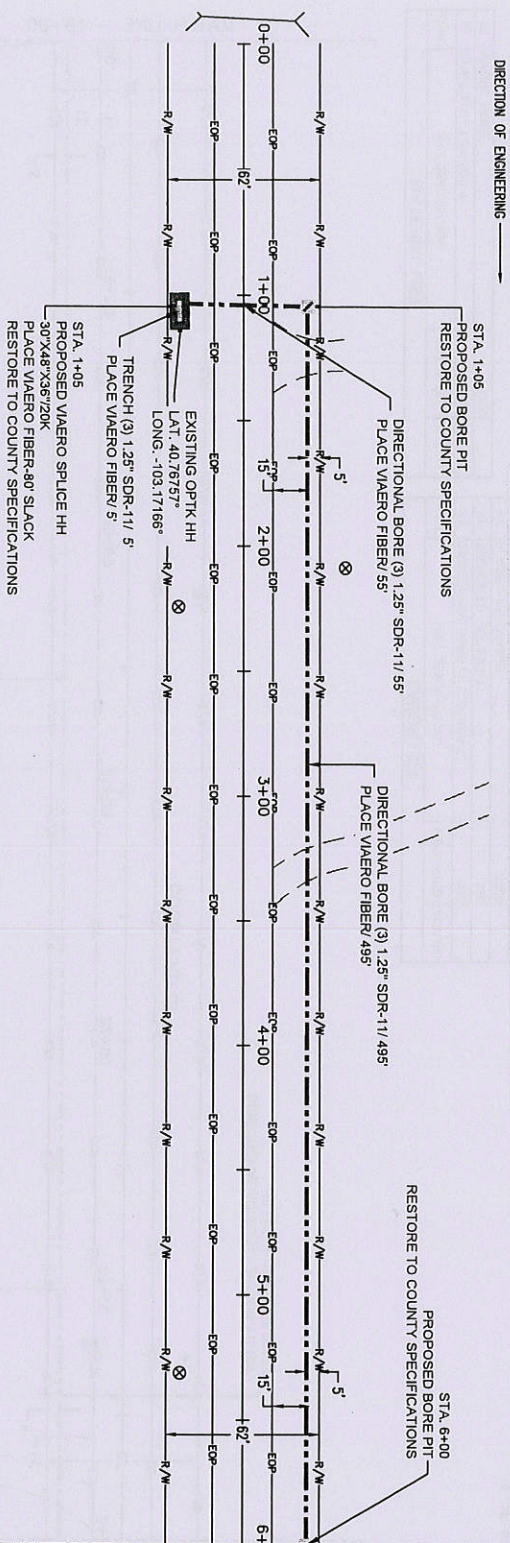
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DATE: 03/02/2022
DATE REVISION: 3/6/2022
SCALE: 1"=100'
PLOT DATE: 3/6/2022 SHEET: 01 OF 07

PROJECT APPROVAL SIGN-OFFS:
LOGAN COUNTY SET

VIAERO FIBER NETWORKS, LLC

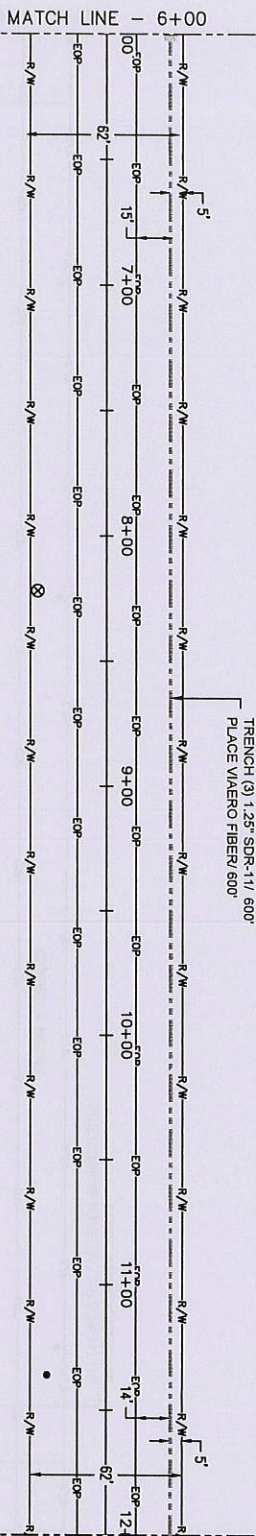
Viaero Fiber Networks LLC
Right of Way
ROW2022-7 July 2022
Along County Road 43, Railroad Av.
& McKinlev St

Viaero Fiber Networks LLC
Right of Way
ROW2022-7 July 2022
Along County Road 43, Railroad Av



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VAERO (3) - 1.25" SDR-11	1155	
FT	VAERO FIBER	1235	
EA	VAERO 30"x48"x36" 20K SP HH	1	

LABOR LIST		
UNIT	UNIT DESCRIPTION	ESTIMATED ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	550
FT	TRENCH (3) 1.25" SDR-11	605
FT	PLACE VMAERO FIBER	1235
EA	PLACE VMAERO 30"x48"x36" 20K GP HH	1



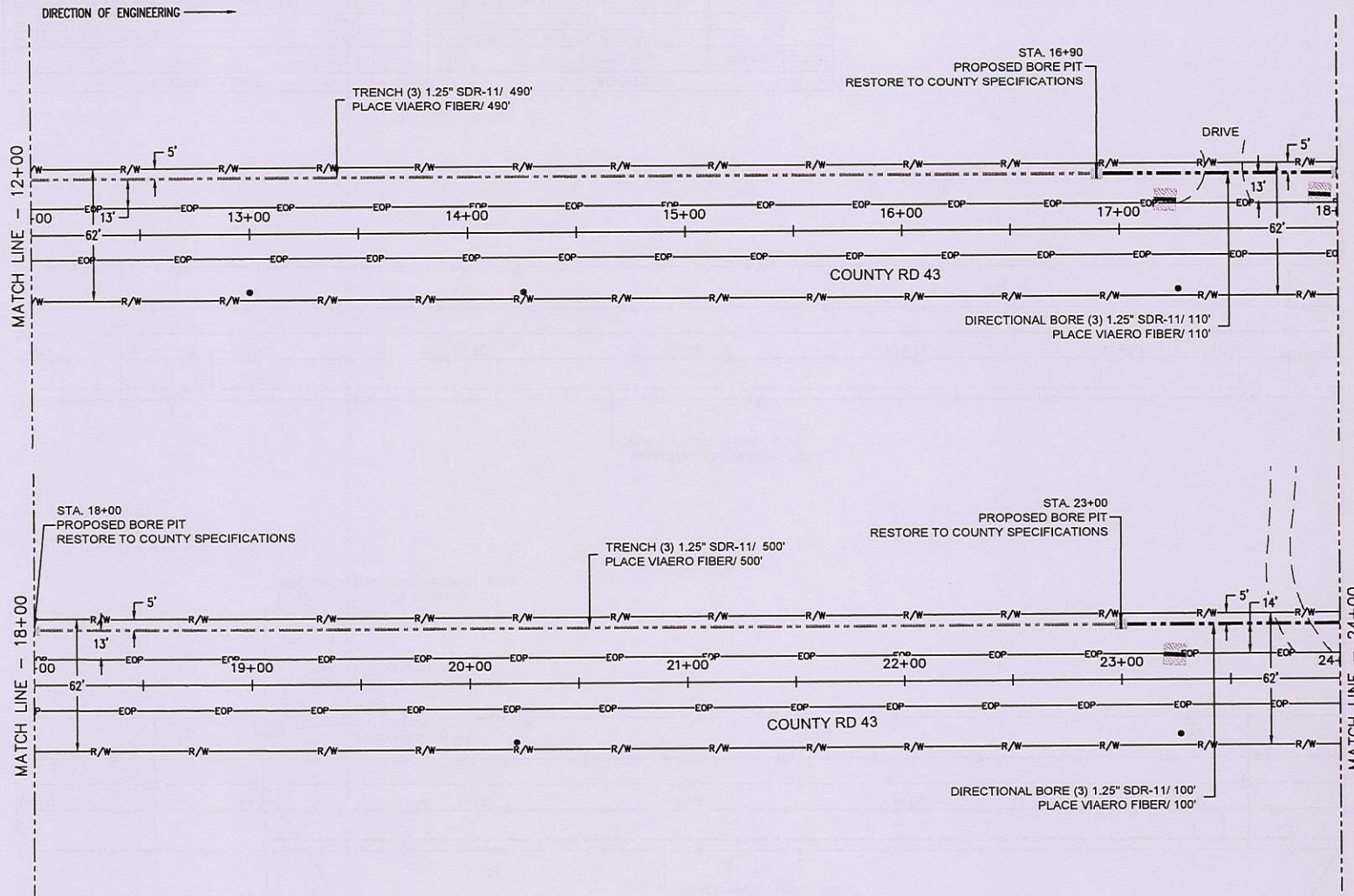
0 10' 20' 30' 40' 50'

SCALE: 1"=50'

PROJECT SHEET	
DATE: 03/07/2022	02
DATE: 03/07/2022	
DATE: 03/07/2022	
DATE: 03/07/2022	

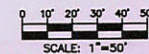
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DATE: 03/07/2022	
DATE: 03/07/2022	
DATE: 03/07/2022	

Viaero Fiber Networks LLC
 Right of Way
 ROW2022-7 July 2022
 Along County Road 43, Railroad Av.
 & McKinley St



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) - 1.25\" SDR-11	1200	
FT	VIAERO FIBER	1200	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25\" SDR-11	210	
FT	TRENCH (3) 1.25\" SDR-11	990	
FT	PLACE VIAERO FIBER	1200	



LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
	TELEPHONE PED - CROSS BOX
	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
	STORM GRATE
	CULVERT
	TREE
	CUT-RESTORE
LINETYPES	
	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-FLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
	RIGHT-OF-WAY
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
	FENCE-EXISTING
	QUAD RAIL-EXISTING
	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
 1334 ELKHORN CIRCLE BROOMFIELD, CO 80021
 PHONE: 303.484.1373

CDGC
 DRAWN BY: CHRIS MANN
 CHECKED BY: BERRY LONG
 APPROVED BY:

VIAERO
 Fiber Networks, LLC

1224 E. Platte Ave. P.O. Box 147-342
 Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
 CALL BEFORE YOU DIG

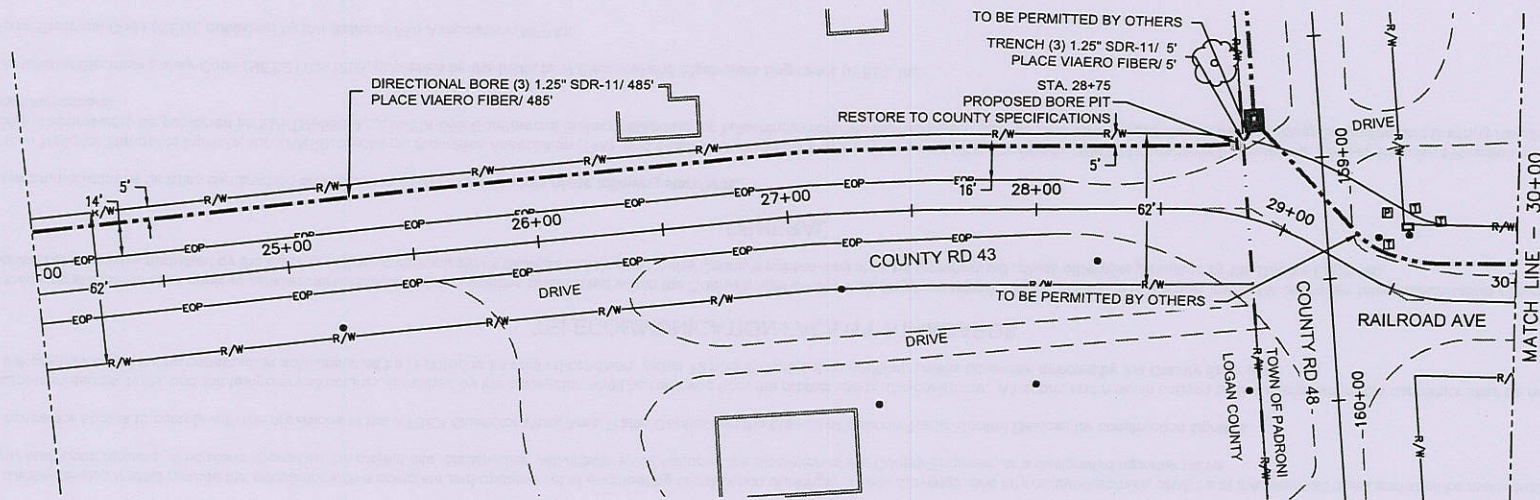
SITE ADDRESS: PADRONI TO OPTX
 LOGAN COUNTY SET

PROJECT SHEET

FILE NAME: Viaero-Optx-Logan-Setout.dwg	SHEET: 03
DATE DRAWN: 03/02/2022	
DATE REVISION: 3/6/2022	
SCALE: 1"=50'	
PLOT DATE: 3/6/2022	SHEET: 03 OF: 07

Viaero Fiber Networks LLC
 Right of Way
 ROW2022-7 July 2022
 Along County Road 43, Railroad Av.
 & McKinley St

DIRECTION OF ENGINEERING →



MATERIAL LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	VIAERO (3) - 1.25" SDR-11	2400	
FT	VIAERO FIBER	2400	

LABOR LIST			
UNIT	UNIT DESCRIPTION	ESTIMATED	ACTUAL
FT	DIRECTIONAL BORE (3) 1.25" SDR-11	100	
FT	PLOW (3) 1.25" SDR-11	2300	
FT	PLACE VIAERO FIBER	2400	



LEGEND	
	STREET SIGN
	FIRE HYDRANT
	WATER METER
	UTILITY VALVE
	UTILITY POLE
	UTILITY MANHOLE
	UTILITY HANDHOLE
	ELECTRICAL/UTILITY CABINET
	TELEPHONE PED - CROSS BOX
	PROPOSED VIAERO MANHOLE
	PROPOSED VIAERO HANDHOLE
	STORM INLET
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	CULVERT
	TREE
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	CONDUIT-PERMITTED BY OTHERS
	CONDUIT-FLOW
	CONDUIT-TRENCH
	CONDUIT-DIRECTIONAL BORE
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	EDGE OF ASPHALT
	EDGE OF GRAVEL
	EDGE OF SIDEWALK
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	GUARD RAIL-EXISTING
	RAILROAD-EXISTING
	GAS-EXISTING
	UNDERGROUND ELECTRIC-EXISTING
	TELEPHONE-EXISTING
	STORM SEWER-EXISTING
	SANITARY SEWER-EXISTING
	STEAM-EXISTING
	WATER-EXISTING
	BUILDING

CDSC
 COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
 12974 ELKHORN CIRCLE, BROOMFIELD, CO 80011
 PHONE: 303.548.1379

DESIGN BY: CHRIS MANN
 CHECKED BY: BERRY LONG
 APPROVED BY:

VIAERO
 Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 472-3142
 Fort Morgan, CO 80701 WWW.VIAERO.COM



SITE ADDRESS: PADRONI TO OPTK
 LOGAN COUNTY SET

PROJECT SHEET

FILE NAME: Padroni-Optk-Logan-Set.dwg	SHEET: 04
DATE DRAWN: 03/02/2022	
DATE REVISION: 3/6/2022	
SCALE: 1"=50'	
PLUT DATE: 3/6/2022	SHEET: 04 OF: 07

Viaero Fiber Networks LLC
Right of Way
ROW2022-7 July 2022
Along County Road 43, Railroad Av.
& McKinley St

All work shall be performed in accordance with the Design and Construction Standards of LOGAN COUNTY and shall be completed to the satisfaction of the County Engineer. In the event that a design element does not reflect County specifications the matter must immediately be brought to the attention of the Viaero Fiber Networks LLC and the County Engineer. The design engineer shall be responsible for recommending a solution or alternative solutions to the County for review and approval.

- (A) The approval of an engineering construction drawing does not relieve the owner-developer-contractor of the responsibility of constructing workable public improvements. All revisions and/or corrections required will be solely the owner's-developer's-contractor's responsibility, and at their expense.
- (B) These plans have been checked by the County only for conformance with the Design and Construction Standards, compliance with development agreement conditions and for general conceptual approval of public improvements as shown. No detailed mathematical check was made for the accuracy of existing or proposed dimensions, lines or grades shown, including all existing utilities shown or not shown.
- (C) Utility locations shown reflect available record data. The contractor shall take precautionary measures to protect all utility lines shown and other utility lines otherwise located. The contractor shall notify the County Utilities Division and private utility companies 24 hours prior to beginning construction.
- (D) Before work begins, the contractor shall obtain a permit to work in the right-of-way from County Engineering Support Services and must notify the County right-of-way inspection staff 24 hours in advance of commencing construction activities.
- (E) The owner-developer shall provide the contractor with a complete and updated set of engineering construction drawings. These drawings, and any required permits, shall be at the site at all times and shall be make available to County staff upon request. If no plans appear on the project site, construction activities may be halted at the discretion of the County Engineer, or a designated representative.
- (F) The contractor agrees to comply with the provisions of the ATSSA Guide for Work Area Traffic Control and the Manual of Uniform Traffic Control Devices for construction signage.
- (G) All surplus materials, tools, and the temporary structures, furnished by the contractor, shall be removed from the project site by the contractor. All debris and rubbish caused by the operations of the contractor shall be removed, and the area occupied during construction activities shall be restored to its original condition, within 72 hours of project completion, unless otherwise directed by the County Engineer.

TELECOMMUNICATION FACILITY STANDARDS

- (H) The following standards shall apply to all telecommunication related facilities constructed within the County's right-of-way including local telephone, long distance telephone, cable TV, and other telecommunication services franchised or otherwise permitted by the County. All telecommunications facilities constructed in the County's right-of-way shall be underground unless otherwise permitted by the County Engineer.

GENERAL

- (I) All telecommunications facilities construction shall conform to the requirements of the following standards:

(1) American National Standards Institute, Inc. (ANSI), Electronic Industries Association (EIA), and Telecommunications Institute of America (TIA) Standards: EIA/TIA Standards Proposal No. 2840-A, Proposed Revision of EIA/TIA-568 (if approved to be published as EIA/TIA-568-A), EIA/TIA-569 Commercial Building Standard for Telecommunications Pathways and Spaces, and TIA/EIA-607 Commercial Building Grounding and Bonding Requirements for Telecommunications.

(2) 1993 National Electrical Safety Code (NESC) C2-1993, published by the Institute of Electrical and Electronics Engineers (IEEE), Inc.

(3) National Electrical Code (NEC), published by the National Fire Association (NFPA).

(4) Federal Communications Commission

(5) Nebraska Public Service Commission

(6) Williams-Steiger Occupational Safety and Health Act (OSHA)

(7) detailed 1 inch = 100 feet scale engineering drawings presenting the specific conduit routing and associated Hand-hole locations and specifications, shall be submitted to the County Engineer's office for review and approval. Underground Cable Protection

(8) All buried telecommunications cable, shall be installed in conduit, SDR/11 or equivalent

Depth of Cover

- A. The minimum depth of cover over the conduit shall be 48 inches. Trench Specifications - Roadway and Other Paved Surfaces
- B. All trenches shall be open cut unless otherwise permitted by the County.
- C. Trenches shall have a minimum width of 6 inches.
- D. Trench backfill shall be flowable fill specified as a 0.6 sack mix in these standards.

LEGEND

- STREET SIGN
- ⦿ FIRE HYDRANT
- WATER METER
- ⊗ UTILITY VALVE
- ⊗ UTILITY POLE
- ⊙ UTILITY MANHOLE
- ⊙ UTILITY HANDHOLE
- ⊙ ELECTRICAL/UTILITY CABINET
- ⊙ TELEPHONE PED - CROSS BOX
- ⊙ PROPOSED VIAERO MANHOLE
- ⊙ PROPOSED VIAERO HANDHOLE
- ⊙ STORM INLET
- STORM GRATE
- CULVERT
- TREE
- CUT-RESTORE

LINETYPES

- CONDUIT-PERMITTED BY OTHERS
- CONDUIT-FLOW
- CONDUIT-TRENCH
- CONDUIT-DIRECTIONAL BORE
- RIGHT-OF-WAY
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- EDGE OF SIDEWALK
- FENCE-EXISTING
- GUARD RAIL-EXISTING
- RAILROAD-EXISTING
- GAS-EXISTING
- UNDERGROUND ELECTRIC-EXISTING
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- STORM SEWER-EXISTING
- SANITARY SEWER-EXISTING
- STEAM-EXISTING
- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
1374 ELKHORN CIRCLE BROOKFIELD, CO 80521
PHONE-303.548.1378

DESIGN BY: CHRIS MANN

CHECKED BY: BERRY LONG

APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 142
Fort Morgan, CO 80701 WWW.VIAERO.COM

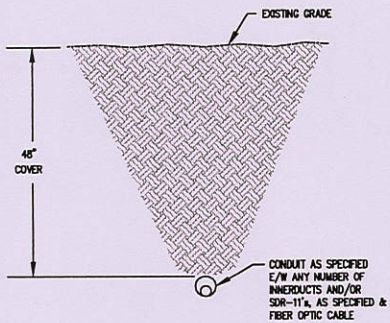
COLORADO 811
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FILE ADDRESS: PADRONI TO OPTK
LOGAN COUNTY SET

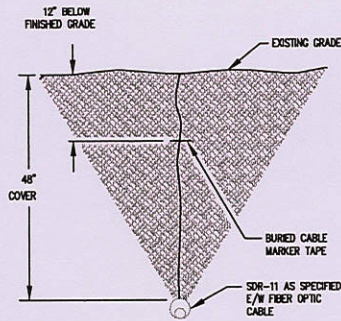
NOTE SHEET

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DATE DRAWN: 03/02/2022	05
DATE REVISION: 3/6/2022	
SCALE: ---	
PLAT DATE: 3/6/2022	SHEET: 05 OF 07

TYPICAL DETAIL "A"
PLACE CROSS SECTION FOR CONDUIT



TYPICAL DETAIL "B"
PLACE SDR-11

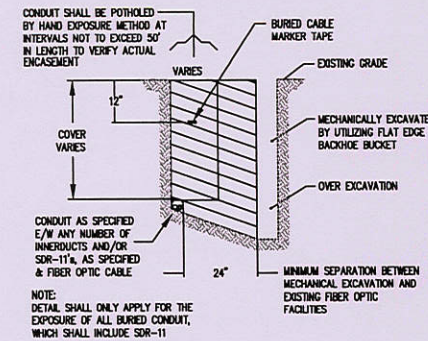


NOTE:
ALL SDR-11 USED FOR VIAERO CABLE
WILL BE TERRA-COTTA ORANGE IN
COLOR AND MANUFACTURED IN
ACCORDANCE WITH ASTM D-3035.

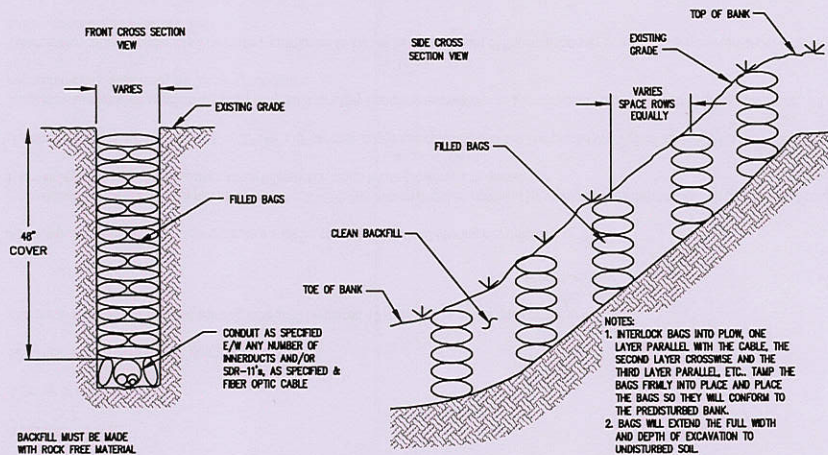
TYPICAL DETAIL "C"
CROSS SECTION OF EXISTING SDR-11



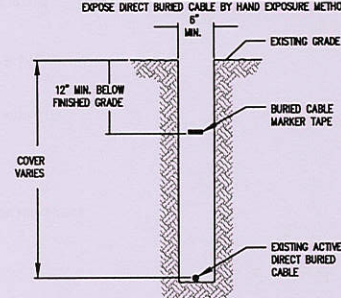
TYPICAL DETAIL "D"
EXPOSE CONDUIT BY POTHOLE/SIDE EXPOSURE METHOD



TYPICAL DETAIL "E"
FLOW EROSION CONTROL



TYPICAL DETAIL "F"
EXPOSE DIRECT BURIED CABLE BY HAND EXPOSURE METHOD



LEGEND

- STREET SIGN
- ⊕ FIRE HYDRANT
- WATER METER
- ⊗ UTILITY VALVE
- ⊗ UTILITY POLE
- ⊗ UTILITY MANHOLE
- ⊗ UTILITY HANDHOLE
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- WATER-EXISTING
- BUILDING

COMMUNICATION DESIGN GROUP CONSULTANTS, LLC
13214 ELAPHORN CIRCLE BROOMFIELD, CO 80021
PHONE: 303.548.1379

DRAWN BY: CHRIS MANN
CHECKED BY: BERRY LONG
APPROVED BY:

VIAERO
Fiber Networks, LLC

1224 N. Platte Ave. P.O. Box 407-3142
Fort Morgan, CO 80701 WWW.VIAERO.COM

COLORADO 811
CALL BEFORE YOU DIGIT

SEE ALSO: PADRONI TO OPTIK
LOGAN COUNTY SET

DETAIL SHEET

FILE NAME: Padroni-Optik-Logan-FiberNetworks.dwg
DATE CHG: 03/02/2022
DATE REVISED: 3/6/2022
SCALE: ---
PLOT DATE: 3/6/2022
SHEET: 07 OF 07

Viaero Fiber Networks LLC
Right of Way
ROW2022-7 July 2022
Along County Road 43, Railroad Av.
& McKinley St

LETTER OF GIFT
AND
BILL OF SALE

KNOW ALL MEN BY THESE PRESENTS, that the Board of County Commissioners of Logan County, Colorado, ("Grantor") whose legal address is 315 Main Street, Sterling, CO 80751, acting on behalf of Logan County, in the State of Colorado, hereby memorializes its donation and gift to the STATE BOARD FOR COMMUNITY COLLEGES AND OCCUPATIONAL EDUCATION, for the benefit of NORTHEASTERN JUNIOR COLLEGE, (Grantee") whose legal address is 100 College Avenue, Sterling, Colorado 80751, and grants and conveys to the Grantee, the following described personal property, to wit:

6' CHAIN LINK FENCE - 280 linear feet.

To Have and To Hold the same unto the Grantee and its successors and assigns, forever.

Grantor makes no warranties of any kind about the condition of the fence, which is conveyed in AS IS condition.

IN WITNESS WHEREOF, Grantor has hereunto signed this Letter of Gift and Bill of Sale this 5th day of July, 2022.

On behalf of Logan County:

Byron H. Pelton, Chairman

Joseph A. McBride, Commissioner

Jane E. Bauder, Commissioner